

**PORTSMOUTH TOWN COUNCIL MEETING  
OCTOBER 24, 2016  
AGENDA**

**7:00 PM - Town Council Chambers, Portsmouth Town Hall, 2200 East Main Road**

**PLEDGE OF ALLEGIANCE**

**SITTING AS THE PORTSMOUTH TOWN COUNCIL**

**SITTING AS THE BUILDING CODE BOARD OF APPEALS**

1. Request A Variance For Relief From Sections 3103.0 And 3103.2 Of The RI Building Code To Construct The DPW Salt Shed. / B. Woodhead (10)

Documents:

[Request Building Code Variance.pdf](#)  
[RI Building Code.pdf](#)  
[Salt Shed.pdf](#)

**ADJOURN**

**SITTING AS THE BOARD OF LICENSE COMMISSIONERS**

**HEARING - ANNUAL LICENSE RENEWALS:**

Documents:

[Annual License List .Pdf](#)

1. Liquor Licenses:

- a. Class A

[Allen's Wine & Spirits, Inc.](#), 3001 East Main Road  
[Ferreira's Package Store, Inc.](#), 1965 East Main Road  
[Pozdnyakova, Inc.](#), d/b/a [Portsmouth Liquors](#), 1557 West Main Road

- b. Class BH

[Roger Williams University](#), 144 Anthony Road

- c. Class BT

[Roger Williams University](#), 144 Anthony Road

- d. Class BV

[Anna D Café, LLC](#), 954 East Main Road  
[Fieldstones, LLC](#), 980 East Main Road  
[Smith Harbor House, LLC](#), d/b/a [15 Point Road](#), 15 Point Road  
[Graziano's 501 Café, LLC](#), 501 Park Avenue  
[Green Valley Country Club, Inc.](#), 371 Union Street  
[Those Crazy Kids, LLC](#), d/b/a [The Gulf Stream Bar & Grille](#), 1 Lagoon Road  
[Oceanside Enterprises, LLC](#), d/b/a [Portsmouth Publick House](#), 600 Clock Tower Square  
[Rocco's Little Italy, LLC](#), 880 East Main Road  
[Jonathan Martin's, Inc.](#), d/b/a [Jonathans Scampj](#), 657 Park Avenue

- e. Class D

[Allen F. White Memorial Post House, Inc.](#), VFW Post # 5200, 800 Anthony

Alvero E. Vieira Memorial Post Home, Inc., VFW Post # 5390, 822 Anthony Road

Montaup Country Club, 500 Anthony Road

Portsmouth Portuguese American Citizens Club, 35 Power Street

Seaconnet Sportsman's Club, 145 Sakonnet Drive

f. Class J

Newport Polo, Inc., Glen Farm (Town of Portsmouth Property)

2. Sunday Sales Licenses:

Allen's Wine & Spirits, Inc., 3001 East Main Road

Ferreira's Package Store, Inc., 1965 East Main Road

Pozdnyakova, Inc., d/b/a Portsmouth Liquors, 1557 West Main Road

3. Victualler Licenses:

Alvero E. Vieira Memorial Post Home, Inc., VFW Post #5390, 822 Anthony Rd

Anna D Café, LLC, 954 East Main Road

Chris & Sofia Stefanopoulos, d/b/a Chris's Diner, 1824 East Main Road

Cindy's Country Café, Inc., 1324 West Main Road

Clements Marketplace, Inc., 2575 East Main Road

Cumberland Farms, Inc., d/b/a Cumberland Farms #1218, 1812 East Main Road

Cumberland Farms, Inc., d/b/a Cumberland Farms #1237, 3166 East Main Road

JFBF Realty Partners, LLC, d/b/a Dunkin Donuts, 1550 West Main Road

Portsmouth Donuts, Inc., d/b/a Dunkin Donuts, 3001 East Main Road

Aquidneck Coffee Partners, LLC, d/b/a Empire Tea & Coffee, 2005 East Main Road

Fieldstones, LLC, 980 East Main Road

Smith Harbor House, LLC, d/b/a 15 Point Road, 15 Point Road

Komes Rozes, d/b/a Flo's Drive In, 324 Park Avenue

Graziano's 501 Café, LLC, 501 Park Avenue

The Green Grocer, Inc., 934 East Main Road

Green Valley Country Club, Inc., 371 Union Street

Those Crazy Kids, LLC, d/b/a The Gulf Stream Bar & Grille, 1 Lagoon Road

Nadder Hajjar Corp., d/b/a Little Corner Store & Deli, 903 Anthony Road

44 Enterprises, LLC, d/b/a Martino's Pizzeria, 3001 East Main Road

Drake Petroleum Co., Inc., d/b/a Melville Xtra Mart, 1568 West Main Road

- With Extended Hours

Montaup Country Club, 500 Anthony Road

New China Garden, Inc., 3288 East Main Road

New China Gourmet, LLC, 3001 East Main Road

The North End Pizzeria, Inc., 3030 East Main Road

Portsmouth Portuguese American Citizens Club, 35 Power Street

Oceanside Enterprises, LLC, d/b/a Portsmouth Publick House, 600 Clock Tower Square

Lori Cubellis, d/b/a Prudence Variety, 0837 Narragansett Ave., Prudence Island

Reidy's Restaurant, Inc., 3351 East Main Road

Rocco's Little Italy, LLC, 880 East Main Road

Roger Williams University, 144 Anthony Road

Jonathan Martin's Inc., d/b/a Jonathans Scampi, 657 Park Avenue

Schultz's Snack Shack, Inc., 346 Park Avenue

Seaconnet Sportsman's Club, 145 Sakonnet Drive

JDDS Enterprises, Inc., d/b/a Subway, 8 Russo Road

RySav, Inc., d/b/a Subway, 2005 East Main Road

4. Amusement Games:

# Games

1 Portsmouth Portuguese American Citizens Club, 35 Power Street

5. Peddler Licenses:

Boru Noodles, LLC, d/b/a Boru Noodle Bar, 36 Broadway, Newport RI -  
1 Vehicle  
Castaway Gourmet, LLC, 60 Selina Lane - 1 Vehicle  
FlatWaves, LLC, 1130 Aquidneck Avenue, Middletown RI - 1 Vehicle  
Greg Doyle's Canteen, Ltd., d/b/a Greg's Canteen Ltd, 120 Broadcommon Road,  
Bristol, RI - 1 vehicle  
Rhode Island Kona, LLC, d/b/a Kona Ice, 4 Cider Lane, Greenville, RI - 1 Vehicle  
Palagi's 2000, Inc., d/b/a Palagi's Ice Cream, 55 Bacon Street, Pawtucket, RI -  
1 Vehicle  
Pete's Ice Cream, LLC, 122 Viking Drive - 2 Vehicles  
2nd Time Around Sports Plus, 328 Atwood Avenue, Cranston, RI

6. Holiday Licenses:

Byron & Gina Rymer, d/b/a All Island Landscape, 2829 East Main Road  
Margaret H. Stevenson, d/b/a The Anchorage, 0241 Governor Paine Road,  
Prudence island  
Dolgen RI, LLC, d/b/a Dollar General, 3228 East Main Road  
MAD Marc, Inc., d/b/a Domina's Agway, 1348 East Main Road  
Eagle's Nest Antique Center, d/b/a Eagle's Nest Antiques, 3101 East Main Road  
Green Valley Country Club, Inc., 371 Union Street  
Greenleaf Compassionate Care Center, Inc., 1637 West Main Road  
Greenvale Vineyards, Ltd., 582 Wapping Road  
Island Garden Shop, Inc., 54 Bristol Ferry Road  
Drake Petroleum Co., Inc., d/b/a Melville Xtra Mart, 1568 West Main Road  
The Portsmouth Shop, Inc., 2511 East Main Road  
Lori Cubellis, d/b/a Prudence Variety, 0837 Narragansett Ave., Prudence Island  
Maxi Drug South, Inc., d/b/a Rite Aid #10232, 3034 East Main Road  
Maxi Drug South, Inc., d/b/a Rite Aid #10233, 2456 East Main Road  
Stone Bridge Holdings, LLC, d/b/a Stone Bridge Marina, 17 Point Road

7. Gunsmith/Gun Dealers:

William G. Lapointe, d/b/a Cottrell, Lapointe, William & Philip, 192 Narragansett  
Blvd.  
Pocasset Arms, LLC, 2968 East Main Road

8. Private Detectives:

Chenga Security Services, d/b/a Charles N. Morin, 142 Viking Drive

**MOTION TO CONTINUE HEARING TO MONDAY, NOVEMBER 14, 2016**

**PRESIDENT'S EXECUTIVE SUMMARY**

**MINUTES**

TCM 10/03/16  
TCM 10/11/16  
TCM 10/13/16 and Exec.

Documents:

[M 10-3-16 Draft.pdf](#)  
[M 10-11-16 Draft.pdf](#)  
[M 10-13-16 Draft.pdf](#)

**BILLS**

Documents:

[Bill List.pdf](#)

### **TAX VOUCHERS**

Request Approval for Tax Vouchers #20161024-01 to #20161024-11. / M. Helfand

Documents:

[Tax Vouchers.pdf](#)

### **TOWN ADMINISTRATOR'S REPORT**

1. Follow Up on Source Water Protection Initiative for Newport's Source Reservoirs
2. Report on Lt. Governor's 39 Cups of Coffee Small Business Tour
3. Report on Heavy Rescue Project Initiative
4. Finance Audit Update
5. Cyber Defense Staff Training Update
6. Report on Public Safety Open House Held 23 October
7. Prudence Island Paving Update

### **OLD BUSINESS**

1. Update - Recreation Department 11-Month Report And Summary. / T. Dunbar (10)

Documents:

[Recreation Dept Report - End Of Season 2016.Pdf](#)  
[Beach Population Data 2016 Season.pdf](#)

2. Discussion/Action - Brown House Renovations: Door Color Selection. / J. Lathrop (5)

Documents:

[Brown House Door Color.pdf](#)

### **NEW BUSINESS**

1. Update - Melville Ponds Campground 2016 Season Report. / J. May (10)

Documents:

[Melville Ponds 2016 Season Report.pdf](#)

2. Notice Of Public Hearing - State Planning Council Has Under Consideration The Repeal Of Five State Guide Plan (SGP) Elements, November 2, 2016 At 5:30 PM, Department Of Administration, One Capitol Hill, Providence. / P. Agrawal, AICP Secretary (5)

Documents:

[State Planning Council Public Hearing.pdf](#)

### **CORRESPONDENCE**

1. Solarize Aquidneck Final Report. - T. Ardito, Executive Director, Aquidneck Island Planning Commission

Documents:

**FUTURE MEETINGS**

November 3 7:00 PM - Matrix Tank Farm Study Presentation - Brief Council  
November 14 6:00 PM - Town Council Meeting  
November 28 7:00 PM - Town Council Meeting

**ADJOURN**

The public is welcome to any meeting of the Town's boards or its committees. If communication assistance (readers/interpreters/captions) is needed or any other accommodation to ensure equal participation, please contact the Town Clerk's Office at 683-2101 at least (3) business days prior to the meeting.

POSTED 10/20/16

Requesting Town Council act as the Building Code Board of Appeals

We have contacted the Portsmouth Building Official about getting a permit for the Salt Shed and he has stated that we will need a variance for relief from Sections 3103.0 and 3103.2 of the RI building codes. I have attached the building codes sections and the foundation plans for the Salt shed.

We are requesting the Council grant a Variance of relief for section 3103.0 as the building will be over 400 square feet and will remain in place for more than one year. In section 3103.2 we are asking for a Variance of relief because we will be using block walls that have been engineered, in place of a frost wall.

Thanks



Brian Woodhead  
Deputy Director Public Works

## CHAPTER 31 SPECIAL CONSTRUCTION

### SECTION 3101 GENERAL

**3101.1 Scope.** The provisions of this chapter shall govern special building construction including membrane structures, temporary structures, *pedestrian walkways* and tunnels, *automatic vehicular gates, awnings and canopies, marquees, signs,* and towers and antennas.

### SECTION 3102 MEMBRANE STRUCTURES

#### 3102.1 General.

The provisions of this section shall apply to air-supported, air-inflated, membrane-covered cable and membrane-covered frame structures, collectively known as membrane structures, erected for a period of 180 days or longer. Those erected for a shorter period of time shall comply with the Rhode Island Uniform Fire Code. Those erected for 180 Days or longer are also regulated by existing code section 3103 Temporary Structures; a Rhode Island amendment to the International model code.

Membrane structures covering water storage facilities, water clarifiers, water treatment plants, sewage treatment plants, greenhouses and similar facilities not used for human occupancy are required to meet only the requirements of Sections 3102.3.1 and 3102.7. Membrane structures erected on a building, balcony, deck or other structures for any period of time shall comply with this section.

**3102.2 Definitions.** The following terms are defined in Chapter 2:

#### AIR-INFLATED STRUCTURE.

#### AIR-SUPPORTED STRUCTURE.

Double skin.

Single skin.

#### CABLE-RESTRAINED, AIR-SUPPORTED STRUCTURE.

#### MEMBRANE-COVERED CABLE STRUCTURE.

#### MEMBRANE-COVERED FRAME STRUCTURE.

#### MEMBRANE-COVERED CABLE STRUCTURE.

A non-pressurized structure in which a mast and cable system provides support and tension to the membrane weather barrier and the membrane imparts stability to the structure. Including but not limited to "TENTS".

#### MEMBRANE-COVERED FRAME STRUCTURE.

A non-pressurized building wherein the structure is composed of a rigid framework to support a tensioned membrane which provides the weather barrier. Including but not limited to "TENTS".

#### NONCOMBUSTIBLE MEMBRANE STRUCTURE.

**3102.3 Type of construction.** Noncombustible membrane structures shall be classified as Type IIB construction. Noncombustible frame or cable-supported structures covered by an *approved* membrane in accordance with Section 3102.3.1 shall be classified as Type IIB construction. Heavy timber frame-supported structures covered by an *approved* membrane in accordance with Section 3102.3.1 shall be classified as Type IV construction. Other membrane structures shall be classified as Type V construction.

**Exception:** Plastic less than 30 feet (9144 mm) above any floor used in greenhouses, where occupancy by the general public is not authorized, and for aquaculture pond covers is not required to meet the fire propagation performance criteria of NFPA 701.

**3102.3.1 Membrane and interior liner material.** Membranes and interior liners shall be either noncombustible as set forth in Section 703.5 or meet the fire propagation performance criteria of NFPA 701 and the manufacturer's test protocol.

**Exception:** Plastic less than 20 mil (0.5 mm) in thickness used in greenhouses, where occupancy by the general public is not authorized, and for aquaculture pond covers is not required to meet the fire propagation performance criteria of NFPA 701.

**3102.4 Allowable floor areas.** The area of a membrane structure shall not exceed the limitations set forth in Table 503, except as provided in Section 506.

**3102.5 Maximum height.** Membrane structures shall not exceed one *story* nor shall such structures exceed the height limitations in feet set forth in Table 503.

**Exception:** Noncombustible membrane structures serving as roofs only.

**3102.6 Mixed construction.** Membrane structures shall be permitted to be utilized as specified in this section as a portion of buildings of other types of construction. Height and area limits shall be as specified for the type of construction and occupancy of the building.

**3102.6.1 Noncombustible membrane.** A noncombustible membrane shall be permitted for use as the roof or as a skylight of any building or atrium of a building of any type of construction provided it is not less than 20 feet (6096 mm) above any floor, balcony or gallery.

**3102.6.1.1 Membrane.** A membrane meeting the fire propagation performance criteria of NFPA 701 shall be permitted to be used as the roof or as a skylight on buildings of Types IIB, III, IV and V construction, provided it is not less than 20 feet (6096 mm) above any floor, balcony or gallery.

**3102.7 Engineering design.** The structure shall be designed and constructed to sustain dead loads; loads due to tension or inflation; live loads including wind, snow or flood and seismic loads and in accordance with Chapter 16.

**3102.8 Inflation systems.** Air-supported and air-inflated structures shall be provided with primary and auxiliary inflation systems to meet the minimum requirements of Sections 3102.8.1 through 3102.8.3.

**3102.8.1 Equipment requirements.** This inflation system shall consist of one or more blowers and shall include provisions for automatic control to maintain the required inflation pressures. The system shall be so designed as to prevent overpressurization of the system.

**3102.8.1.1 Auxiliary inflation system.** In addition to the primary inflation system, in buildings larger than 1,500 square feet (140 m<sup>2</sup>) in area, an auxiliary inflation system shall be provided with sufficient capacity to maintain the inflation of the structure in case of primary system failure. The auxiliary inflation system shall operate automatically when there is a loss of internal pressure and when the primary blower system becomes inoperative.

**3102.8.1.2 Blower equipment.** Blower equipment shall meet all of the following requirements:

1. Blowers shall be powered by continuous-rated motors at the maximum power required for any flow condition as required by the structural design.
2. Blowers shall be provided with inlet screens, belt guards and other protective devices as required by the *building official* to provide protection from injury.
3. Blowers shall be housed within a weather-protecting structure.
4. Blowers shall be equipped with backdraft check dampers to minimize air loss when inoperative.
5. Blower inlets shall be located to provide protection from air contamination. The location of inlets shall be *approved*.

**3102.8.2 Standby power.** Wherever an auxiliary inflation system is required, an *approved* standby power-generating system shall be provided. The system shall be equipped with a suitable means for automatically starting the generator set upon failure of the normal electrical service and for automatic transfer and operation of all of the required electrical functions at full power within 60 seconds of such service failure. Standby power shall be capable of operating independently for not less than 4 hours.

**3102.8.3 Support provisions.** A system capable of supporting the membrane in the event of deflation shall be provided for in air-supported and air-inflated structures having an *occupant load* of 50 or more or where covering a swimming pool regardless of *occupant load*. The support system shall be capable of maintaining membrane structures used as a roof for Type I construction not less than 20 feet (6096 mm) above floor or seating areas. The support system shall be capable of maintaining other mem-

branes not less than 7 feet (2134 mm) above the floor, seating area or surface of the water.

## SECTION 3103 TEMPORARY STRUCTURES

### 3103.0 General:

Pursuant to a variance granted by the Board of Appeals under the provisions of Section 127.0 the Building Official shall issue a permit for temporary construction as approved by the Board of Appeal. Such permits shall be limited as to time of service but such temporary construction shall not be permitted for more than one (1) year.

The building official shall be permitted to issue permits for temporary construction limited to buildings of less than four hundred (400) square feet and all construction trailers. Such permits shall be limited as to time of service but no such construction shall be permitted to remain in place for more than one (1) year or the time scheduled for the construction project.

### 3103.2 Special Approval

All temporary construction, when intended to be occupied by the owner, employee, or general public shall conform to structural strength, fire safety, means of egress, light, ventilation and sanitary requirements of the Code necessary to insure the public health, safety and general welfare.

### 3103.3 Termination of Approval

The building official is hereby authorized to terminate such special approval and to order demolition and/or removal of any such construction at his discretion.

## SECTION 3104 PEDESTRIAN WALKWAYS AND TUNNELS

**3104.1 General.** This section shall apply to connections between buildings such as *pedestrian walkways* or tunnels, located at, above or below grade level, that are used as a means of travel by persons. The *pedestrian walkway* shall not contribute to the *building area* or the number of *stories* or height of connected buildings.

**3104.2 Separate structures.** Connected buildings shall be considered to be separate structures.

#### Exceptions:

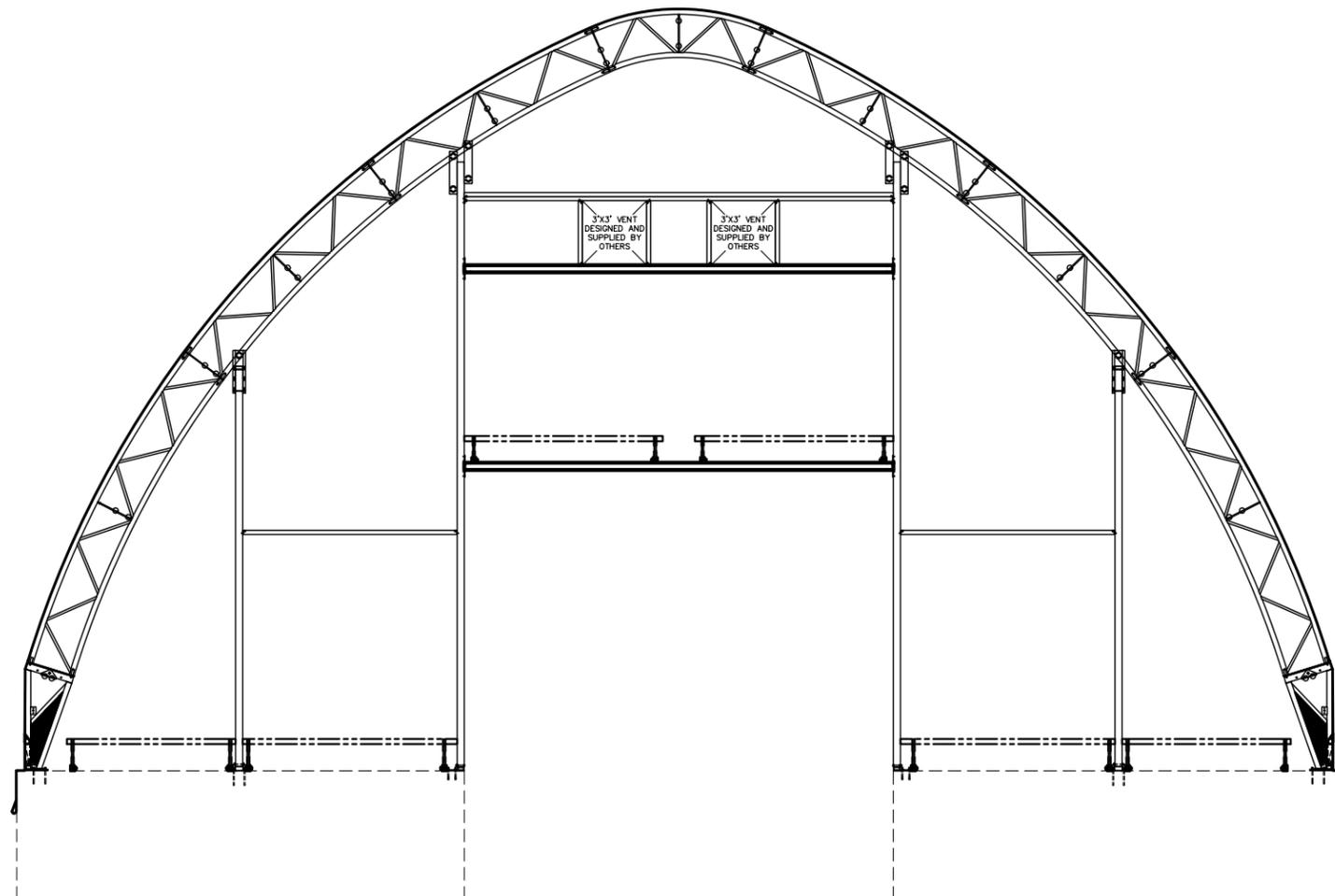
1. Buildings on the same *lot* in accordance with Section 503.1.2 shall be considered a single structure.
2. For purposes of calculating the number of Type B units required by Chapter 11, structurally connected buildings and buildings with multiple wings shall be considered one structure.

**3104.3 Construction.** The *pedestrian walkway* shall be of noncombustible construction.

#### Exceptions:

1. Combustible construction shall be permitted where connected buildings are of combustible construction.

# 60' HT SUPERSTRUCTURE



SITE LOCATION		
SITE LOCATION	LAT / LONG	APPROX. 41°35'35.46"N, 71°15'22.19"W
	ADDRESS	143 HEDLY STREET
	CITY/TOWN	PORTSMOUTH
	STATE	RHODE ISLAND
	COUNTRY	USA

PROJECT DESCRIPTION		
DEALER	IRON HORSE STRUCTURES	
OWNER'S NAME	CITY OF PORTSMOUTH	
STRUCTURE TYPE	MODEL	HT - KEDER COVER
	WIDTH X LENGTH	60' X 60'
	TRUSS SPACING	10' o/c
	FABRIC TYPE	P708WW 12.6 oz/yd <sup>2</sup> PE FR
DESIGN CRITERIA	USE AND OCCUPANCY	COMMERCIAL - LOW HAZARD
	SNOW LOAD	30 PSF
	WIND LOAD	127 MPH, "C" EXPOSURE

DRAWING INDEX		
DWG No.	SHEET No.	TITLE
1.01	1 OF 12	TITLE SHEET
2.01	2 OF 12	GENERAL STRUCTURAL NOTES
3.01	3 OF 12	DETAILED REACTIONS / ISOMETRIC
4.01	4 OF 12	FOUNDATION PLAN
5.01	5 OF 12	FRAMING PLAN
6.01	6 OF 12	ELEVATION A
7.01	7 OF 12	ELEVATION B
8.01	8 OF 12	ELEVATION C
9.01	9 OF 12	EXTRUSION LAYOUT
10.01	10 OF 12	DETAILS
11.01	11 OF 12	DETAILS
12.01	12 OF 12	DETAILS

Calhoun Super Structures Ltd 3702 Bruce Rd #10 Tara, Ontario, Canada N0H 2N0 1-800-265-3994 www.calhoun.ca www.calhounsuperstructure.com		
NAME: L T C DATE: 06/10/2016	DRAWN: L T C CHECKED: A G B ENG. APPR.: G R	
THE INFORMATION CONTAINED IN THIS DRAWING IS PROPRIETARY AND CONFIDENTIAL AND IS THE SOLE PROPERTY OF CALHOUN SUPER STRUCTURES LTD. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF CALHOUN SUPER STRUCTURES LTD. IS PROHIBITED.		<b>TITLE SHEET</b> <b>60' HT SERIES</b> <b>404352 HT60X60 R1</b>
1 ENGINEER APPROVAL No. DESCRIPTION DATE	13/10/2016	DWG. NO. <b>1.01</b> SCALE: <b>D</b> SHEET <b>1</b> OF <b>12</b>

## GENERAL

### 1. DESIGN STANDARDS

International Building Code (IBC) 2012  
AISC-Steel-Construction-Manual-13th Edition  
Hollow Structural Sections, Connections and Trusses  
North American Specification for the Design of Cold-Formed Steel Structural Members  
CSA S16-09, Limit States design of Steel Structures  
CSA S136-07, Cold Formed Steel Structural Members  
ULC S109, Flame Tests of Flame Resistant Fabrics and Films

### 2. MANUFACTURING STANDARDS

- Fabrication in accordance with CSA S16 and CSA S136 (as applicable).
  - Welding in accordance with CSA W59 and CSA S136 (as applicable).
  - Calhoun Super Structures is certified in accordance with CSA W47.1 Division 2
  - All Welders have been qualified in accordance with CSA W47.1
- These drawings have been prepared by the EOS primarily to safeguard against major structural damage and loss of life, not to limit damage or maintain function as per requirements of the current accepted building code as listed in the basis for design.
- Professional standards of care normally exercised under similar circumstances by reputable engineers in this area or similar localities have been used or exceeded in these drawings.
  - Design of non-structural elements, (such as stairs, railings, non-load bearing walls, veneers, curtain walls, etc) and their attachments, are not included and must be provided by others unless specifically noted on these drawings.
  - Design of prefabricated structural products, (such as wood trusses, steel joists, or concrete pre-cast elements, etc) is not included, and must be provided by others unless specifically noted on these drawings.
  - Specification references, (such as ASTM, AISI, AWS, CCI, CISC, CSA, CWB etc) shall be the latest accepted version where noted on these drawings.

## CONSTRUCTION

- An experienced licensed contractor with a working knowledge of applicable codes and industry accepted standard practices shall perform the work depicted in these drawings.
- All work shall conform to the minimum standards of the current accepted building code found in the basis for design and other codes, industry specific specifications, and standards listed herein. The contractor shall comply with requirements of all regulatory agencies with authority over any portion of the work. Work not explicitly shown on these drawings shall conform to all applicable codes and accepted standard practices.
- The contractor shall verify all dimensions, elevations, and conditions on these drawings with all other relevant construction discipline drawings prior to the start of construction. Notify the EOS in writing before the start of construction regarding discrepancies, omissions or variations, or they shall become the sole responsibility of the contractor. Notes and the specific details on these drawings take precedence over general structural notes and typical details.
- Construction methods are not explicitly included on these drawings. General sequences are shown for reference only. The contractor shall be solely responsible for all methods, sequences, and procedures of construction. The contractor shall provide adequate shoring, bracing, framework, etc. as required for the protection of life and property during construction.
- Excavation procedures including shoring and protection of adjacent property, structures, streets, and utilities shall be performed in compliance with local building codes, regulations, and safety requirements, and shall be the contractor's responsibility.
- Construction materials shall be spread out uniformly on structural systems such that design live loads are not exceeded.
- Openings, pockets, etc. shall not be placed in structural members unless specifically detailed on these drawings. When drawings by others show items in structural members not shown on the structural drawings, notify the EOS in writing to determine correct disposition.
- Site visits by the EOS are a resource for the contractor and shall not be considered as special inspections. Contractor and/or customer will be responsible for all costs incurred when requesting site visits by the EOS.
- As per CSA-S16-09, Section 29, Sub-section 29.7.2, Plumbness of Columns, (c): Column verticality shall not exceed 1/500 and shall be measured from the actual column centerline at the base of the column.

STRUCTURAL BOLT TORQUE VALUES						
SIZE		GR 5/A325				
DIA. (Inch)	THREADS PER INCH	TENSILE (ksi)	PROOF LOAD (lbs)	CLAMP LOAD (lbs)	TORQUE DRY (ft-lbs)	TORQUE LUBE (ft-lbs)
3/8	16	120	6600	4950	30	23
7/16	14	120	9050	6780	50	35
1/2	13	120	12100	9050	75	55
5/8	11	120	19200	14400	150	110
3/4	10	120	28400	21300	260	200
1-1/4	7	105	71700	53800	1120	840

NOTE: TORQUE VALUES FOR REFERENCE ONLY. TURN OF THE NUT, CALIBRATED WRENCH OR OTHER APPROVED METHOD REQUIRED TO ENSURE BOLT TENSION.

## STRUCTURAL STEEL

### 1.0 MATERIALS

- Structural steel members shall conform to the following ASTM (CSA G-40.21) with the following grades and material properties U.N.O.

SHAPE	CSA G40.21 DESIGNATION	ASTM DESIGNATION (SAE GRADE)	YIELD STRENGTH MPa (ksi)	TENSILE STRENGTH MPa (ksi)
STANDARD STEEL SHAPES	300 W	A36/44W	300 (44)	450-620 (65-80)
ROLLED WIDE FLANGE SECTIONS	350 W	A992	350 (50)	450 (65)
BARS AND PLATES	300 W	A36/44W	300 (44)	450-620 (65-80)
HSS - ROUND	350 W	G40.21 350W	350 (50)	450-650
HSS - SQ./REC.	350 W	A500 GRADE C	350 (50)	450-650
MECHANICAL TUBING	----	787-05	380 (55)	----
STRUCTURAL BOLTS	----	GRADE 5	----	724-827 (60)
	----	A325	----	724-827 (105-120)
	----	GRADE 8	----	827 (120)
	----	A490	----	1034 (150)
ANCHOR BOLTS	----	F1554 GR 36	248 (36)	400-558 (58-80)
	----	F1554 GR 55	380 (55)	517-655 (75-95)
	----	F1554 GR 105	724 (105)	125-150 (125-150)

- Structural steel shall be fabricated and erected in accordance with AISC/CISC specifications for the design fabrication and erection of structural steel buildings.

### 2.0 INSTALLATION

- Welders shall be AWS/CWB certified where required by jurisdictional authority. All welding shall use E70 series low hydrogen electrodes. All welding shall conform to the latest American Welding Society standards; welds on drawings are shown as shop welds. Contractor may shop weld or field weld at his discretion. All full penetration welds shall be tested and certified by an independent testing laboratory.
- All bolts shall be installed as bearing-type connections with threads excluded from shear plane (type "x" connection), UNO. High-strength bolts shall be snug tightened using any AISC/CISC approved method and do not require special inspections unless noted otherwise. All bolts in slotted or oversize holes and all high-strength bolts shall be installed with washers.
- All expansion or epoxy bolts shall have current approved rating (ICC-ES or equivalent) for material into which installation occurs. Headed studs shall conform to all requirements of the latest edition of the "recommended practices for stud welding" and the "structural welding code" published by AWS. All bolts, anchor bolts, expansion bolts, etc. shall be installed with steel washers at face of wood.
- Grout beneath column bases or bearing plates shall be 5000psi (35MPa) minimum non-shrink flow-able grout or dry-pack. Install grout under bearing plates before framing member is installed. At columns, install grout under base plates after column has been plumbed but prior to floor or roof installation. Grout depth shall be sufficient to allow grout or dry pack to be placed beneath plate without voids.
- All misc. welds not noted, including stiffeners, misc. plates, etc. shall be per AISC/CISC manual table J2.4 or in an AWS/CWB certified shop.

## LIGHT GAUGE STEEL FRAMING

### 1.0 MATERIALS

- All products to be manufactured by the current members of the steel stud manufacturers association. All galvanized studs and joist shall be formed from steel that corresponds to the minimum requirements of the latest addition of the AISI or CSA-S136. All structural members shall be designed in accordance with the Canadian Institute of Steel Construction (CISC) or American Iron and Steel Institute (AISI) specification for the design of cold-formed steel structural members (latest edition).
- Structural drawings show only the primary structural framing elements of the system, and the contractor shall provide all accessories required for the complete and proper installation, as recommended by the manufacturer for the steel members used.
- All welding shall be performed by welders experienced in light gauge structural steel framing work. All welds per AWS D1.3 or AWS D1.3 as applicable.

### 2.0 FRAMING

- Prior to fabrication of framing, that is designed and supplied by others, the contractor shall submit shop drawings to the EOS to obtain approval.
- All framing components shall be cut squarely for attachment to perpendicular members or as required for an angular fit against abutting members.
- Temporary bracing where required, shall be provided until erection is complete.
- Fastening of the components shall be with self-drilling screws or welding. Screws or welds shall be of sufficient size to insure the strength of the connection. All welds of galvanized steel shall be touched up with paint. Wire tying of components shall not be permitted.
- Screws shall be self-tapping pan head, hex head, or wafer head sheet metal screws. Screws which are removed shall be replaced by a screw of a larger diameter where the replacement is made into an existing hole. Replace all screws which strip out material. Screws shall be spaced no closer than 5/8" o/c and with a minimum free edge distance of 1/2". Screws No. 8 and larger shall have a minimum head size of 5/16".
- Any on-site welding during structure erection shall be performed by welders experienced in light gauge structural steel framing work.

## FOUNDATION

- Designed and Supplied by others.
- All Project Sites are assumed to be virgin, undisturbed soil. Any fill must be properly compacted to 150 kPa (3000 psf)

**NOTE:  
ENGINEERS SEAL ON DRAWINGS APPLIES TO THE  
STRUCTURE ONLY**

BASIS FOR DESIGN	
GOVERNING BUILDING CODE	IBC 2012
ROOF LOADS	
DEAD LOAD	1.90 psf
COLLATERAL LOAD	0.25 psf
LIVE LOAD	12 psf
SNOW LOAD	30 psf
IMPORTANCE FACTOR	1.0
Ct	1.2
Ce	1.0
pf	30 psf
WIND DESIGN	
BASIC WIND SPEED	127 mph
WIND EXPOSURE	C
BASIC/CLADDING (ALLOWABLE EXCLUDING GCp FIG 6-11)	20.02/31.84 psf
IMPORTANCE FACTOR	1.0
ROOF HEIGHT	41'-5"
DESIGN ENCLOSURE	PARTIALLY ENCLOSED
SEISMIC DESIGN	
Ss	0.170
S1	0.059
IMPORTANCE FACTOR	1.0
SITE CLASS	D
USE GROUP	1
R LONGITUDINAL	*3.0
R TRANSVERSE	*3.0
OCCUPANCY STANDARD - SEISMIC	I
THIS STRUCTURE HAS BEEN DESIGNED AS A PARTIALLY ENCLOSED BUILDING.	
*CONSERVATIVELY TAKEN SMALLER THAN REQUIRED PER 12.2-1	

COMPONENT SCHEDULE					
MARK	DESCRIPTION	CHORDS	WEBS	BOLTS	COMMENTS
HTC	HT SERIES TRUSS COMPONENT	2-7/8" X 0.100 WALL 50 KSI	U 1.5"X1.25"X14GA 50 KSI	1/2" GR 5	ALL STEEL HOT DIP GALVANIZED TO MIN. G90 PER ASTM A123-09 / CSA-G164
HTU	HT SERIES TRUSS UPGRADE COMPONENT	2-7/8" X 0.125 WALL 50 KSI (INSIDE CHORD)	U 1.5"X1.25"X14GA 50 KSI	1/2" GR 5	ALL STEEL HOT DIP GALVANIZED TO MIN. G90 PER ASTM A123-09 / CSA-G164
HTP	HT SERIES PEAK COMPONENT	2-7/8" X 0.100 WALL 50 KSI	U 1.5"X1.25"X14GA 50 KSI	1/2" GR 5	ALL STEEL HOT DIP GALVANIZED TO MIN. G90 PER ASTM A123-09 / CSA-G164
HTL	HT SERIES LEG COMPONENT	3"X3" HSS X 11GA 50 KSI	U 2.0"X2.0"X11GA 50 KSI	1/2" GR 5	ALL STEEL HOT DIP GALVANIZED TO MIN. G90 PER ASTM A123-09 / CSA-G164

**FOUNDATION DESIGNED  
AND SUPPLIED BY OTHERS**

Calhoun Super Structures Ltd. 3702 Bruce Rd #10 Tara, Ontario, Canada M9H 2N0 1-800-265-3994 www.calhoun.ca www.calhounsuperstructure.com		
NAME	DATE	
DRAWN	L T C	06/10/2016
CHECKED	A G B	06/10/2016
ENG. APPR.	G R	13/10/2016
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1	ENGINEER APPROVAL	13/10/2016
No.	DESCRIPTION	DATE
REVISION / ISSUE		
Dwg. No.		<b>2.01</b>
SCALE:		N T S SHEET 2 OF 12

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GRID(S) 1 & 7			Horizontal			Moment		
Node	L/C		Fx kip	Fy kip	Fz kip	Mx kip-in	My kip-in	Mz kip-in
Max Fx	116	48 D+CL+WIND PAR (+Z) +EDGE STRIP PAR (+Z) +IP PAR	3.29	3.98	0.26	-4.16	1.13	-36.78
Min Fx	116	69 .6D+ WIND PERP (+CP) AS GABLE -IP PERP	-5.09	-2.83	1.18	0.17	0.11	157.96
Max Fy	100	49 D+CL+WIND PAR (-Z) +EDGE STRIP PAR (-Z) -IP PAR	2.93	7.13	-0.07	4.86	-0.49	-22.34
Min Fy	100	62 .6D+WIND PAR (+Z) +EDGE STRIP PAR (+Z) +IP PAR	-2.23	-9.17	-3.04	-5.83	1.2	2.04
Max Fz	116	63 .6D+WIND PAR (-Z) +EDGE STRIP PAR (-Z) -IP PAR	-2.56	-5.96	2.91	5.42	-1.76	16.47
Min Fz	101	62 .6D+WIND PAR (+Z) +EDGE STRIP PAR (+Z) +IP PAR	2.23	-9.17	-3.04	-5.83	-1.19	-2.06
Max Mx	117	63 .6D+WIND PAR (-Z) +EDGE STRIP PAR (-Z) -IP PAR	2.56	-5.96	2.91	5.42	1.75	-16.5
Min Mx	101	62 .6D+WIND PAR (+Z) +EDGE STRIP PAR (+Z) +IP PAR	2.23	-9.17	-3.04	-5.83	-1.19	-2.06
Max My	117	49 D+CL+WIND PAR (-Z) +EDGE STRIP PAR (-Z) -IP PAR	2.43	-5.58	2.9	5.42	1.75	-15.59
Min My	116	49 D+CL+WIND PAR (-Z) +EDGE STRIP PAR (-Z) -IP PAR	-2.43	-5.59	2.9	5.42	-1.76	15.56
Max Mz	101	53 D+CL WIND PERP (+CP) AS GABLE +IP PERP	-5	2.46	-1.12	0.06	1.06	162.18
Min Mz	100	42 D+CL+USL	1.81	2.54	-1.17	-0.08	-0.32	-46.71

GRID(S) 2 & 6			Horizontal			Moment		
Node	L/C		Fx kip	Fy kip	Fz kip	Mx kip-in	My kip-in	Mz kip-in
Max Fx	114	41 D+CL+BSL	2.64	5.51	0.06	0.05	-0.05	-28.9
Min Fx	102	69 .6D+ WIND PERP (+CP) AS GABLE -IP PERP	-4.7	1.89	0.43	0.71	-0.4	170.07
Max Fy	115	42 D+CL+USL	-2.34	6.66	0.05	0.04	0.02	-8.78
Min Fy	102	62 .6D+WIND PAR (+Z) +EDGE STRIP PAR (+Z) +IP PAR	0.52	-7.7	-2.03	-4.92	1.17	-27.17
Max Fz	115	63 .6D+WIND PAR (-Z) +EDGE STRIP PAR (-Z) -IP PAR	-0.03	-1.03	2.08	5.13	1.09	5.29
Min Fz	103	62 .6D+WIND PAR (+Z) +EDGE STRIP PAR (+Z) +IP PAR	-0.52	-7.7	-2.04	-4.92	-1.17	27.16
Max Mx	115	49 D+CL+WIND PAR (-Z) +EDGE STRIP PAR (-Z) -IP PAR	-0.18	-0.6	2.08	5.13	1.09	6.29
Min Mx	103	48 D+CL+WIND PAR (+Z) +EDGE STRIP PAR (+Z) +IP PAR	-0.67	-7.27	-2.03	-4.93	-1.16	28.15
Max My	102	62 .6D+WIND PAR (+Z) +EDGE STRIP PAR (+Z) +IP PAR	0.52	-7.7	-2.03	-4.92	1.17	-27.17
Min My	103	62 .6D+WIND PAR (+Z) +EDGE STRIP PAR (+Z) +IP PAR	-0.52	-7.7	-2.04	-4.92	-1.17	27.16
Max Mz	103	53 D+CL WIND PERP (+CP) AS GABLE +IP PERP	-4.44	-2.46	0.35	0.66	-0.02	171.86
Min Mz	102	42 D+CL+USL	2.01	2.93	-0.07	-0.04	0.08	-52.73

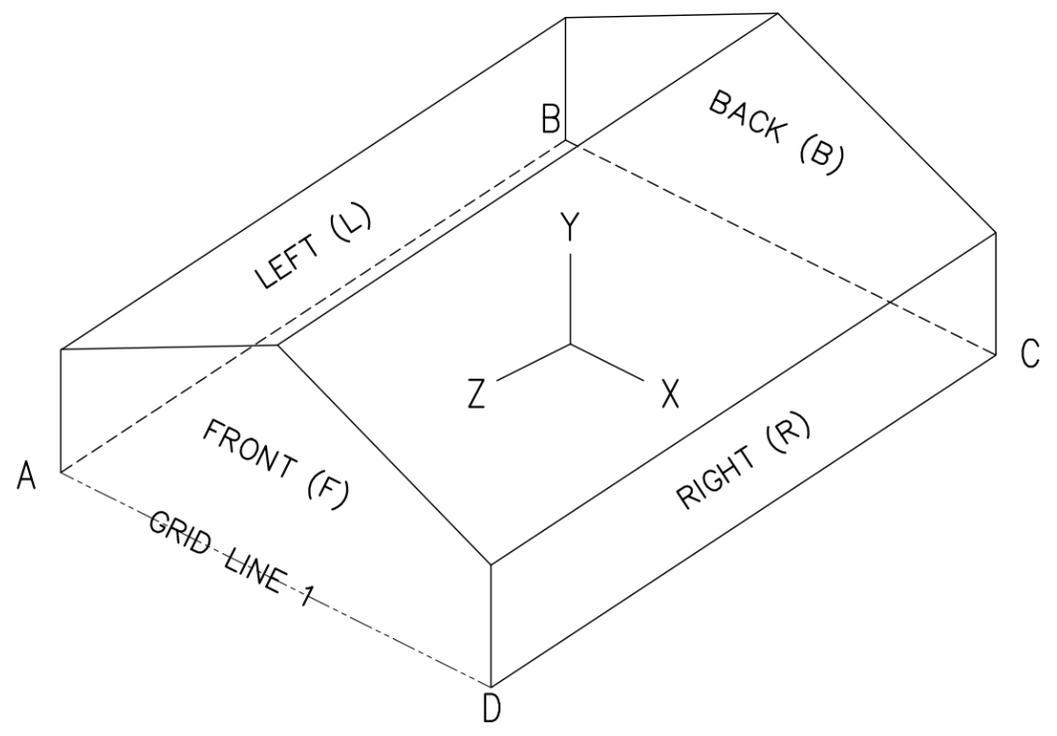
GRID(S) 3 & 8			Horizontal			Moment		
Node	L/C		Fx kip	Fy kip	Fz kip	Mx kip-in	My kip-in	Mz kip-in
Max Fx	104	48 D+CL+WIND PAR (+Z) +EDGE STRIP PAR (+Z) +IP PAR	3.08	-2.07	-0.39	-4.95	-0.31	-47.79
Min Fx	104	69 .6D+ WIND PERP (+CP) AS GABLE -IP PERP	-5.39	0.65	1	0.71	-1.04	184.65
Max Fy	105	42 D+CL+USL	-2.45	6.87	0.68	-0.05	0.63	-9.24
Min Fy	112	62 .6D+WIND PAR (+Z) +EDGE STRIP PAR (+Z) +IP PAR	-1.69	-9.67	-2.19	-4.73	1.71	-0.97
Max Fz	105	49 D+CL+WIND PAR (-Z) +EDGE STRIP PAR (-Z) -IP PAR	1.93	-2.38	2.21	4.82	1.68	-19.92
Min Fz	112	48 D+CL+WIND PAR (+Z) +EDGE STRIP PAR (+Z) +IP PAR	-1.55	-9.27	-2.19	-4.73	1.71	-1.93
Max Mx	112	49 D+CL+WIND PAR (-Z) +EDGE STRIP PAR (-Z) -IP PAR	2.76	4.89	0.39	5.08	0.29	-25.75
Min Mx	105	48 D+CL+WIND PAR (+Z) +EDGE STRIP PAR (+Z) +IP PAR	-3.08	-2.07	-0.39	-4.95	0.32	47.79
Max My	112	48 D+CL+WIND PAR (+Z) +EDGE STRIP PAR (+Z) +IP PAR	-1.55	-9.27	-2.19	-4.73	1.71	-1.93
Min My	113	48 D+CL+WIND PAR (+Z) +EDGE STRIP PAR (+Z) +IP PAR	1.55	-9.26	-2.19	-4.73	-1.7	1.99
Max Mz	104	69 .6D+ WIND PERP (+CP) AS GABLE -IP PERP	-5.39	0.65	1	0.71	-1.04	184.65
Min Mz	112	42 D+CL+USL	2.12	2.96	-0.69	0.07	0.61	-55.8

GRID(S) 4			Horizontal			Moment		
Node	L/C		Fx kip	Fy kip	Fz kip	Mx kip-in	My kip-in	Mz kip-in
Max Fx	108	41 D+CL+BSL	2.8	5.68	0	0	0	-30.81
Min Fx	108	69 .6D+ WIND PERP (+CP) AS GABLE -IP PERP	-5.56	0.8	0.06	0.78	-0.08	200.13
Max Fy	111	42 D+CL+USL	-2.31	6.64	-0.01	-0.02	-0.12	-13.17
Min Fy	107	62 .6D+WIND PAR (+Z) +EDGE STRIP PAR (+Z) +IP PAR	-0.81	-5.85	-0.33	-4.75	-0.35	24.76
Max Fz	109	49 D+CL+WIND PAR (-Z) +EDGE STRIP PAR (-Z) -IP PAR	-0.38	1.58	0.38	4.96	0.44	0.04
Min Fz	111	48 D+CL+WIND PAR (+Z) +EDGE STRIP PAR (+Z) +IP PAR	-0.81	-4.87	-0.37	-4.87	-0.61	20.72
Max Mx	109	49 D+CL+WIND PAR (-Z) +EDGE STRIP PAR (-Z) -IP PAR	-0.38	1.58	0.38	4.96	0.44	0.04
Min Mx	111	48 D+CL+WIND PAR (+Z) +EDGE STRIP PAR (+Z) +IP PAR	-0.81	-4.87	-0.37	-4.87	-0.61	20.72
Max My	107	49 D+CL+WIND PAR (-Z) +EDGE STRIP PAR (-Z) -IP PAR	-0.21	1.55	0.37	4.95	0.64	-2.54
Min My	106	49 D+CL+WIND PAR (-Z) +EDGE STRIP PAR (-Z) -IP PAR	0.21	1.55	0.37	4.94	-0.64	2.54
Max Mz	108	69 .6D+ WIND PERP (+CP) AS GABLE -IP PERP	-5.56	0.8	0.06	0.78	-0.08	200.13
Min Mz	108	42 D+CL+USL	2.27	3.12	0	0	0	-59.73

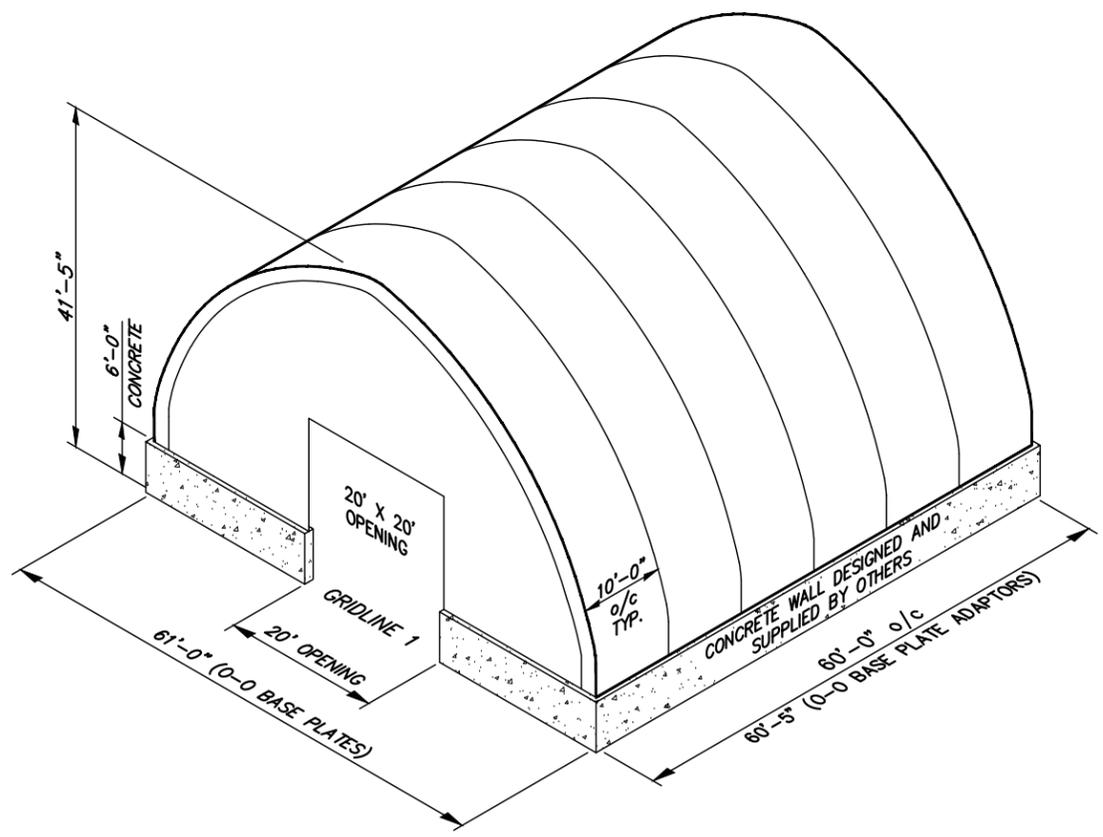
Component Load Cases US	
*	DEAD (D)
*	COLLATERAL (CL)
*	ROOF LIVE (RL)
*	BALANCED SNOW (BSL)
*	UNBALANCED SNOW LEFT TO RIGHT (USL L2R)
*	UNBALANCED SNOW RIGHT TO LEFT (USL R2L)
*	WIND PERPENDICULAR +CP LEFT TO RIGHT AS ARCH +IP (AWPerp +CP L2R +IP)
*	WIND PERPENDICULAR -CP LEFT TO RIGHT AS ARCH +IP (AWPerp -CP L2R +IP)
*	WIND PERPENDICULAR +CP LEFT TO RIGHT AS ARCH -IP (AWPerp +CP L2R -IP)
*	WIND PERPENDICULAR -CP LEFT TO RIGHT AS ARCH -IP (AWPerp -CP L2R -IP)
*	WIND PERPENDICULAR +CP RIGHT TO LEFT AS ARCH +IP (AWPerp +CP R2L +IP)
*	WIND PERPENDICULAR -CP RIGHT TO LEFT AS ARCH +IP (AWPerp -CP R2L +IP)
*	WIND PERPENDICULAR +CP RIGHT TO LEFT AS ARCH -IP (AWPerp +CP R2L -IP)
*	WIND PERPENDICULAR -CP RIGHT TO LEFT AS ARCH -IP (AWPerp -CP R2L -IP)
*	WIND PARALLEL FRONT TO BACK +IP (WPar F2B +IP)
*	WIND PARALLEL BACK TO FRONT +IP (WPar B2F +IP)
*	WIND PARALLEL FRONT TO BACK -IP (WPar F2B -IP)
*	WIND PARALLEL BACK TO FRONT -IP (WPar B2F -IP)
*	SEISMIC TRANSVERSE LEFT TO RIGHT (ETrans L2R)
*	SEISMIC TRANSVERSE RIGHT TO LEFT (ETrans R2L)
*	SEISMIC LONGITUDINAL FRONT TO BACK (ELong F2B)
*	SEISMIC LONGITUDINAL BACK TO FRONT (ELong B2F)
*	WIND PERPENDICULAR +CP LEFT TO RIGHT AS GABLE +IP (AWPerp +CP L2R +IP)
*	WIND PERPENDICULAR -CP LEFT TO RIGHT AS GABLE +IP (AWPerp -CP L2R +IP)
*	WIND PERPENDICULAR +CP LEFT TO RIGHT AS GABLE -IP (AWPerp +CP L2R -IP)
*	WIND PERPENDICULAR -CP LEFT TO RIGHT AS GABLE -IP (AWPerp -CP L2R -IP)

\* Cases Analyzed Cases This Project

**Even Nodes Left Odd Nodes Right Ascending Back to Front**



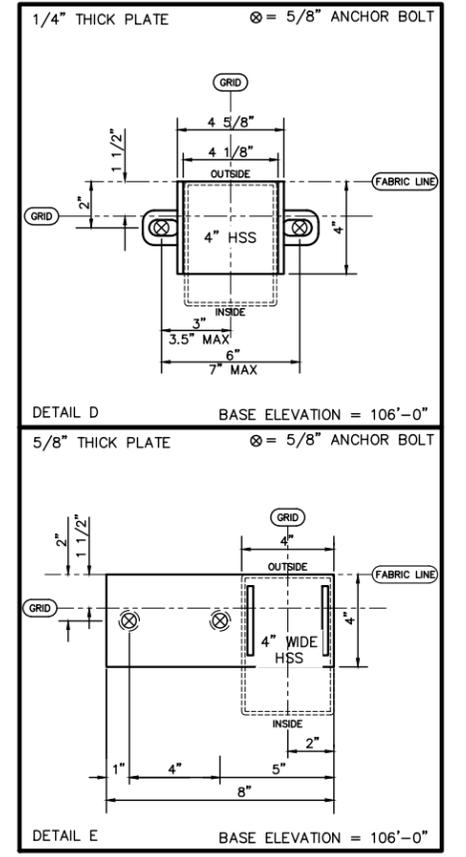
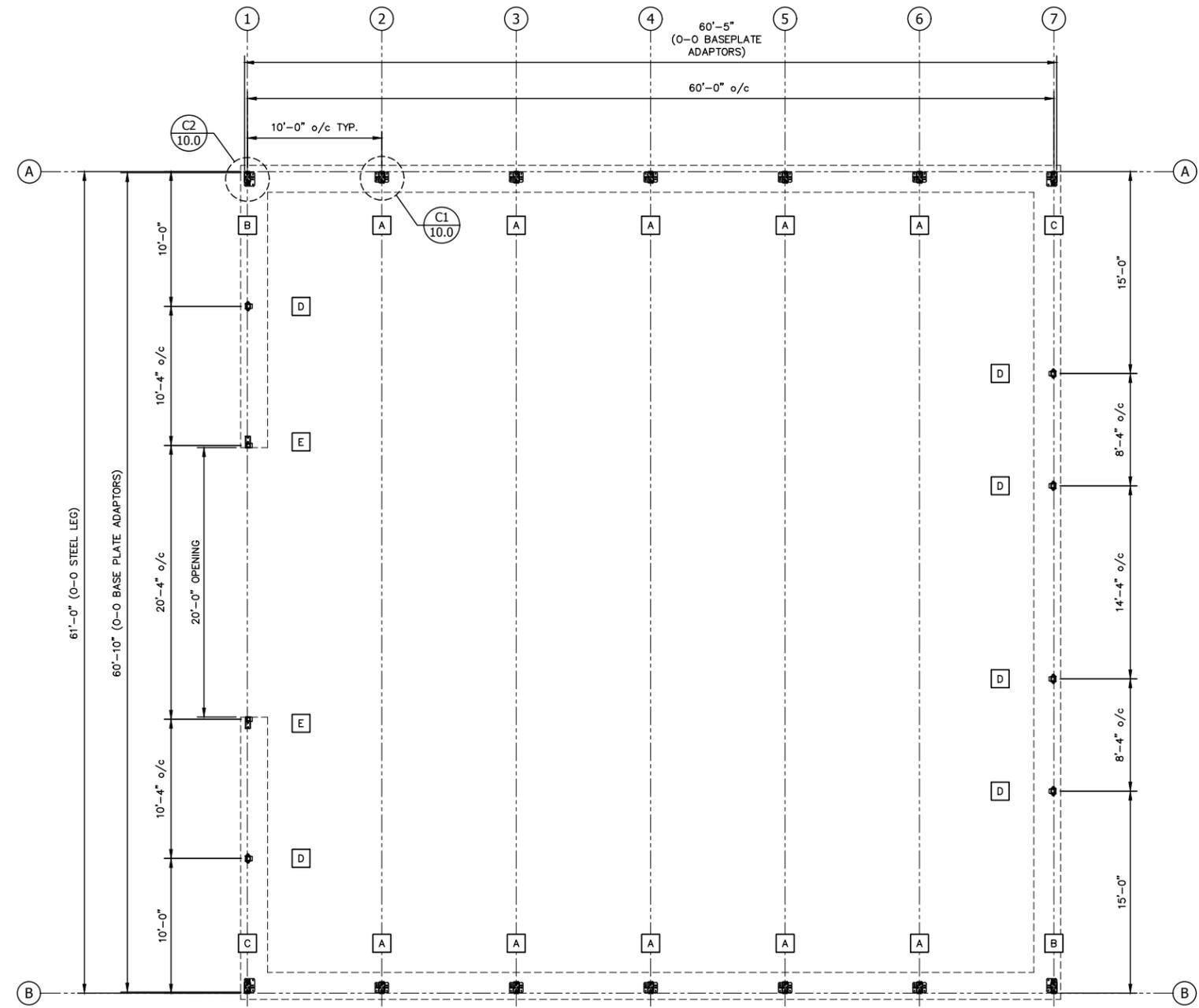
Gable Uprights Left to Right		Horizontal Allowable		
Gable	Location	Fx kip	Fy kip	Fz kip (+/-)
1	(F)	---	---	1.71
2	(F)	---	---	4.9
3	(F)	---	---	4.9
4	(F)	---	---	1.71
1	(B)	---	---	2.35
2	(B)	---	---	3.91
3	(B)	---	---	3.91
4	(B)	---	---	2.35



**NOTE:**  
 BUILDING DESIGNED AS FREE  
 STANDING WITH NO HIGHER  
 OBJECTS WITHIN 50' IN ANY  
 DIRECTION.

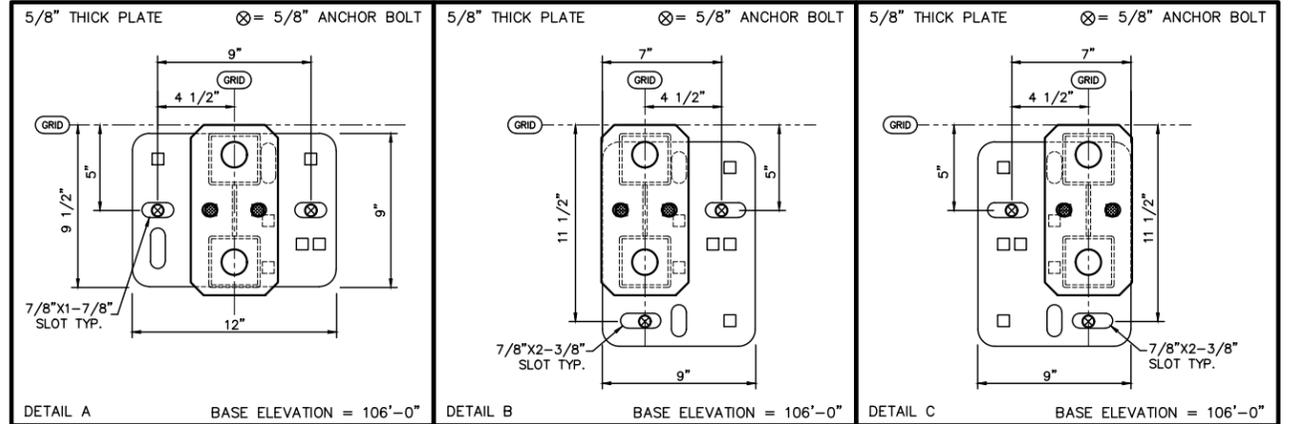
**FOUNDATION DESIGNED  
 AND SUPPLIED BY OTHERS**

Calhoun Super Structures Ltd 3702 Bruce Rd #10 Tara, Ontario, Canada M9H 2N0 1-800-265-3994 www.calhoun.ca www.calhounsuperstructure.com		
NAME DATE dd/mm/yyyy	L T C 06/10/2016	
DRAWN A G B	CHECKED A G B	DATE 06/10/2016
ENG. APPR. G R	DATE 13/10/2016	DATE 13/10/2016
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REVISION / ISSUE		Dwg. No. <b>3.01</b> SCALE: N.T.S. SHEET 3 OF 12



**NOTE:**  
 BUILDING DESIGNED AS FREE  
 STANDING WITH NO HIGHER  
 OBJECTS WITHIN 50' IN ANY  
 DIRECTION.

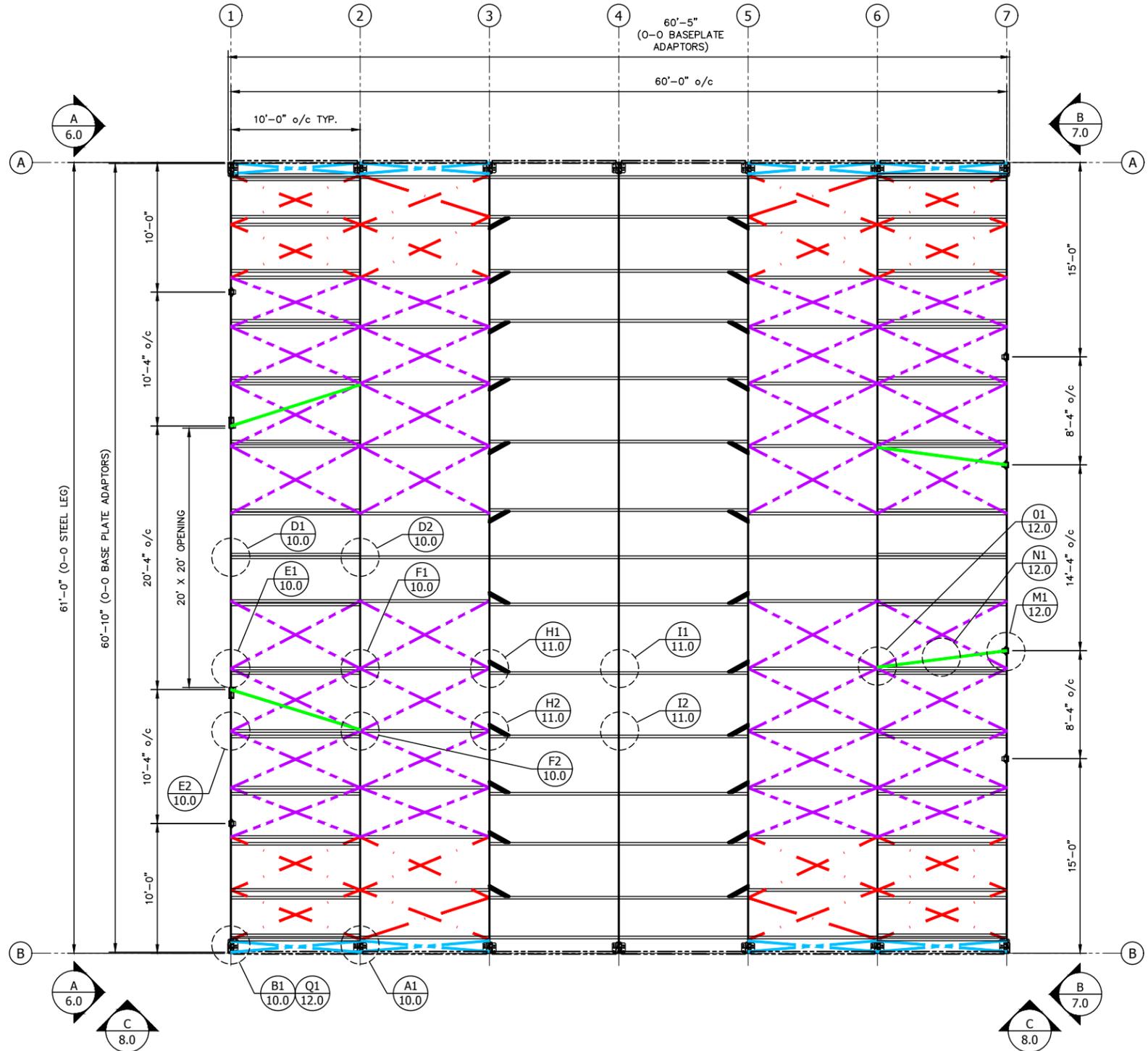
- GENERAL NOTES**
1. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. RESOLVE DISCREPANCIES WITH THE BUILDING SUPPLIER.
  2. FINISHED FLOOR ELEVATION THIS SHEET = 100'-0" U.N.O.
  3. ALL CONCRETE COMPONENTS ARE DESIGNED AND SUPPLIED BY OTHERS.



**FOUNDATION DESIGNED  
 AND SUPPLIED BY OTHERS**

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NAME: L T C DRAWN: A G B CHECKED: G R ENG. APPR: G R	DATE: 06/10/2016 DATE: 06/10/2016 DATE: 13/10/2016	
1 ENGINEER APPROVAL 13/10/2016		FOUNDATION PLAN 60' HT SERIES 404352 HT60X60 R1
No. DESCRIPTION DATE		
REVISION / ISSUE		THE INFORMATION CONTAINED IN THIS DRAWING IS PROPRIETARY AND CONFIDENTIAL AND IS THE SOLE PROPERTY OF CALHOUN SUPER STRUCTURES LTD. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF CALHOUN SUPER STRUCTURES LTD. IS PROHIBITED.
SCALE: 3/16"=1'-0"		SHEET: 4 OF 12 DWG. NO.: 4.01

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TARP PRE-TENSION SCHEDULE		
FRAME SPACING	SPACER TUBE SIZE	TUBE DEFLECTION AT CENTER
6'	2-3/8"φ	1/4"
8'	2-3/8"φ	1/2"
10'	2-3/8"φ	1"
12'	2-3/8"φ	2-1/4"
12'	2-7/8"φ	1-1/4"
14'	2-7/8"φ	2-1/4"
14'	3-1/2"φ	1-1/4"
16'	3-1/2"φ	2"

END BAYS ONLY. FOR INTERIOR BAYS, VISUAL AND PHYSICAL INSPECTION OF TARP REQUIRED.

FRAMING SCHEDULE				
LEGEND	DESCRIPTION	SECTION	GA/LOAD	COMMENTS
	TYPICAL PURLIN	2-7/8"φ	14	ALL BAYS
	BRACE PURLIN	U 2"x2"	11	END BAYS ONLY
	SPACER/ TENSION TUBE	2-7/8"φ	14	ALL BAYS
	ROOF TRUSS CABLE	5/16"φ GALVANIZED 7X19 WIRE CABLE	---	HAND TIGHT +5-1/4 REVOLUTIONS AND LOOSEN TO SLACK THEN HAND TIGHT +3/4 REVOLUTION
	EAVE TRUSS CABLE	5/16"φ GALVANIZED 7X19 WIRE CABLE	---	HAND TIGHT +5-3/4 REVOLUTIONS AND LOOSEN TO SLACK THEN HAND TIGHT +3/4 REVOLUTION
	WALL CABLE	5/16"φ GALVANIZED 7X19 WIRE CABLE	---	HAND TIGHT +4-7/8 REVOLUTIONS AND LOOSEN TO SLACK THEN HAND TIGHT +1/2 REVOLUTION
	KICKER PURLIN	2-7/8"φ & 2-1/2"φ	14	AS SHOWN/NOTED IN DRAWINGS

**CABLE TENSIONING SEQUENCE:**

- HAND TIGHT
- PLUS SPECIFIED TURNS, AS ABOVE, USING A CHEATER BAR OR WRENCH (TO STRETCH CABLE)
- LOOSEN TO SLACK
- HAND TIGHT
- PLUS SPECIFIED TURNS, AS ABOVE, USING A CHEATER BAR OR WRENCH (FINAL TENSIONING 800 LBS UNO)

MAIN BUILDING COVER INFORMATION	
FABRIC TYPE	COVER INFORMATION
KEDERED PANELS	INSTALLED THROUGH EXTRUSION FROM SIDE TO SIDE, TENSION AS PER DETAILS

**NOTE:**  
 BUILDING DESIGNED AS FREE STANDING WITH NO HIGHER OBJECTS WITHIN 50' IN ANY DIRECTION.

- GENERAL NOTES**
- VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. RESOLVE DISCREPANCIES WITH THE BUILDING SUPPLIER.
  - FINISHED FLOOR ELEVATION THIS SHEET = 100'-0" U.N.O.
  - ALL CONCRETE COMPONENTS ARE DESIGNED AND SUPPLIED BY OTHERS.

**FOUNDATION DESIGNED AND SUPPLIED BY OTHERS**

Calhoun Super Structures Ltd. 3702 Bruce Rd #10 Tara, Ontario, Canada M2H 2N0 1-800-265-3994 www.calhoun.ca www.calhounsuperstructure.com		
NAME: L T C DATE: 06/10/2016 CHECKED: A G B DATE: 06/10/2016 ENG. APPR: G R DATE: 13/10/2016	<b>FRAMING PLAN</b> 60' HT SERIES 404352 HT60X60 R1	
1 ENGINEER APPROVAL No. DESCRIPTION DATE	13/10/2016 DATE	THE INFORMATION CONTAINED IN THIS DRAWING IS PROPRIETARY AND CONFIDENTIAL AND IS THE SOLE PROPERTY OF CALHOUN SUPER STRUCTURES LTD. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF CALHOUN SUPER STRUCTURES LTD. IS PROHIBITED.
REVISION / ISSUE		SCALE: 3/16"=1'-0" SHEET 5 OF 12

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 Oct 13, 2016 - 5:46pm

COMPONENT SCHEDULE					
MARK	DESCRIPTION	CHORDS	WEBS	BOLTS	COMMENTS
HTC	HT SERIES TRUSS COMPONENT	2-7/8" x 0.100 WALL 50 KSI	U 1.5"x1.25"x14GA 50 KSI	1/2" GR 5	ALL STEEL HOT DIP GALVANIZED TO MIN. G90 PER ASTM A123-09 / CSA-G164
HTU	HT SERIES TRUSS UPGRADE COMPONENT	2-7/8" x 0.125 WALL 50 KSI (INSIDE CHORD)	U 1.5"x1.25"x14GA 50 KSI	1/2" GR 5	ALL STEEL HOT DIP GALVANIZED TO MIN. G90 PER ASTM A123-09 / CSA-G164
HTP	HT SERIES PEAK COMPONENT	2-7/8" x 0.100 WALL 50 KSI	U 1.5"x1.25"x14GA 50 KSI	1/2" GR 5	ALL STEEL HOT DIP GALVANIZED TO MIN. G90 PER ASTM A123-09 / CSA-G164
HTL	HT SERIES LEG COMPONENT	3"x3" HSS X 11GA 50 KSI	U 2.0"x2.0"x11GA 50 KSI	1/2" GR 5	ALL STEEL HOT DIP GALVANIZED TO MIN. G90 PER ASTM A123-09 / CSA-G164

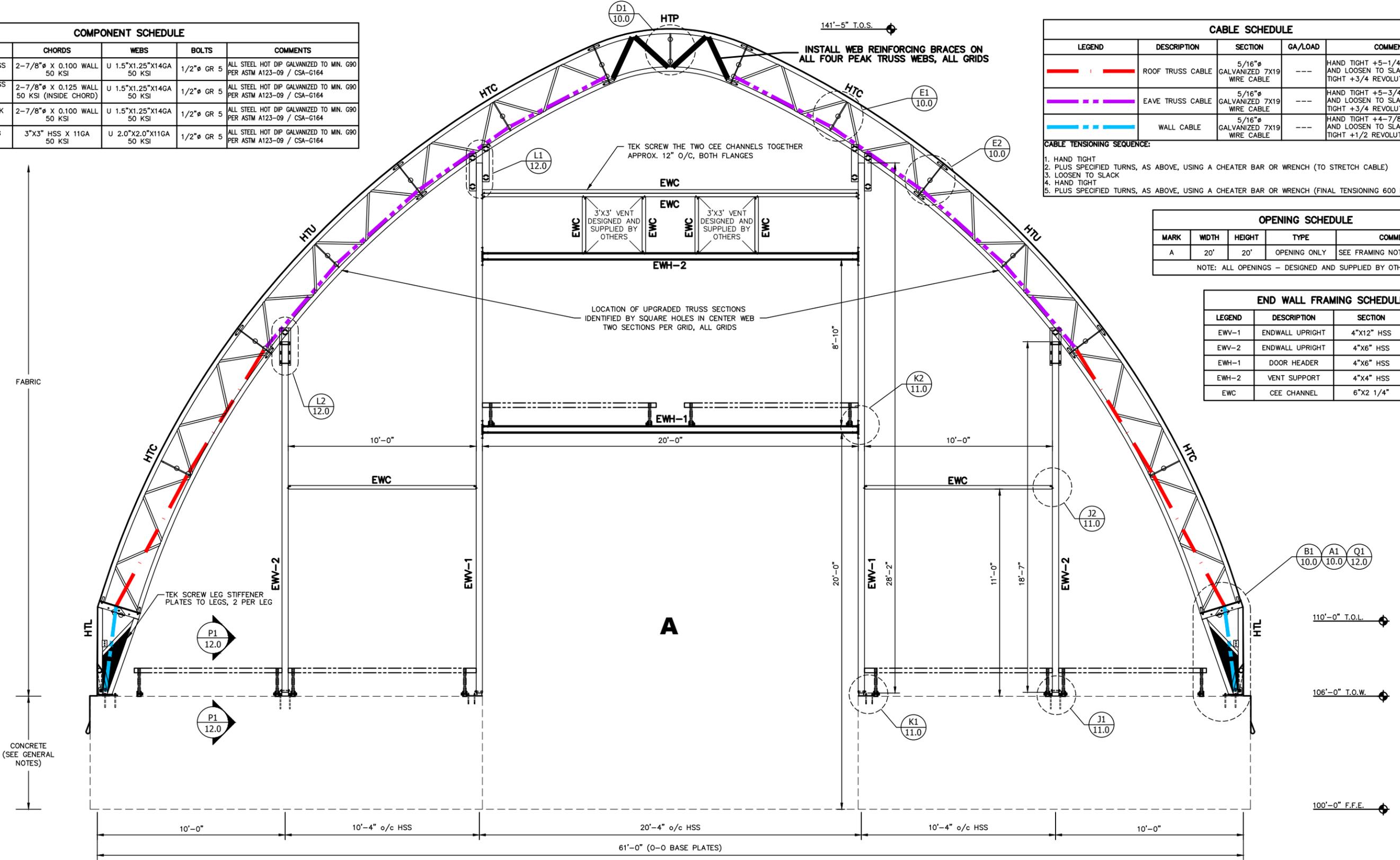
CABLE SCHEDULE				
LEGEND	DESCRIPTION	SECTION	GA/LOAD	COMMENTS
	ROOF TRUSS CABLE	5/16" GALVANIZED 7X19 WIRE CABLE	---	HAND TIGHT +5-1/4 REVOLUTIONS AND LOOSEN TO SLACK THEN HAND TIGHT +3/4 REVOLUTION
	EAVE TRUSS CABLE	5/16" GALVANIZED 7X19 WIRE CABLE	---	HAND TIGHT +5-3/4 REVOLUTIONS AND LOOSEN TO SLACK THEN HAND TIGHT +3/4 REVOLUTION
	WALL CABLE	5/16" GALVANIZED 7X19 WIRE CABLE	---	HAND TIGHT +4-7/8 REVOLUTIONS AND LOOSEN TO SLACK THEN HAND TIGHT +1/2 REVOLUTION

- CABLE TENSIONING SEQUENCE:**
- HAND TIGHT
  - PLUS SPECIFIED TURNS, AS ABOVE, USING A CHEATER BAR OR WRENCH (TO STRETCH CABLE)
  - LOOSEN TO SLACK
  - HAND TIGHT
  - PLUS SPECIFIED TURNS, AS ABOVE, USING A CHEATER BAR OR WRENCH (FINAL TENSIONING 600 LBS UNO)

OPENING SCHEDULE				
MARK	WIDTH	HEIGHT	TYPE	COMMENTS
A	20'	20'	OPENING ONLY	SEE FRAMING NOTES

NOTE: ALL OPENINGS - DESIGNED AND SUPPLIED BY OTHERS

END WALL FRAMING SCHEDULE				
LEGEND	DESCRIPTION	SECTION	GA/LOAD	
EWV-1	ENDWALL UPRIGHT	4"x12" HSS	1/4"	
EWV-2	ENDWALL UPRIGHT	4"x6" HSS	1/4"	
EWH-1	DOOR HEADER	4"x6" HSS	1/4"	
EWH-2	VENT SUPPORT	4"x4" HSS	3/16"	
EWC	CEE CHANNEL	6"x2 1/4"	14	



END 1 - GRIDLINE 1

**NOTE:**  
 BUILDING DESIGNED AS FREE STANDING WITH NO HIGHER OBJECTS WITHIN 50' IN ANY DIRECTION.

END WALL FABRIC INFORMATION	
FABRIC TYPE	FABRIC INFORMATION
2 PIECE KEDERED END	INSTALLED IN EXTRUSION AND JOINED IN THE CENTRE USING SCHEDULE 80 PVC AND LACINB DOPE. TENSION AS PER DETAILS.

**FOUNDATION DESIGNED AND SUPPLIED BY OTHERS**

- GENERAL NOTES**
- VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. RESOLVE DISCREPANCIES WITH THE BUILDING SUPPLIER.
  - FINISHED FLOOR ELEVATION THIS SHEET = 100'-0" U.N.O.
  - ALL CONCRETE COMPONENTS ARE DESIGNED AND SUPPLIED BY OTHERS.

Calhoun Super Structures Ltd. 3702 Bruce Rd #10 Toronto, Ontario, Canada M9H 2N0 1-800-265-3994 www.calhoun.ca www.calhounsuperstructure.com	
NAME	DATE
L T C	06/10/2016
CHECKED	A G B 06/10/2016
ENG. APPR.	G R 13/10/2016
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1	ENGINEER APPROVAL 13/10/2016
No.	DESCRIPTION DATE
	REVISION / ISSUE



**ELEVATION A**  
**60' HT SERIES**  
**404352 HT60X60 R1**

SCALE: 3/8"=1'-0" SHEET 6 OF 12  
 DWS: NO. **6.01**

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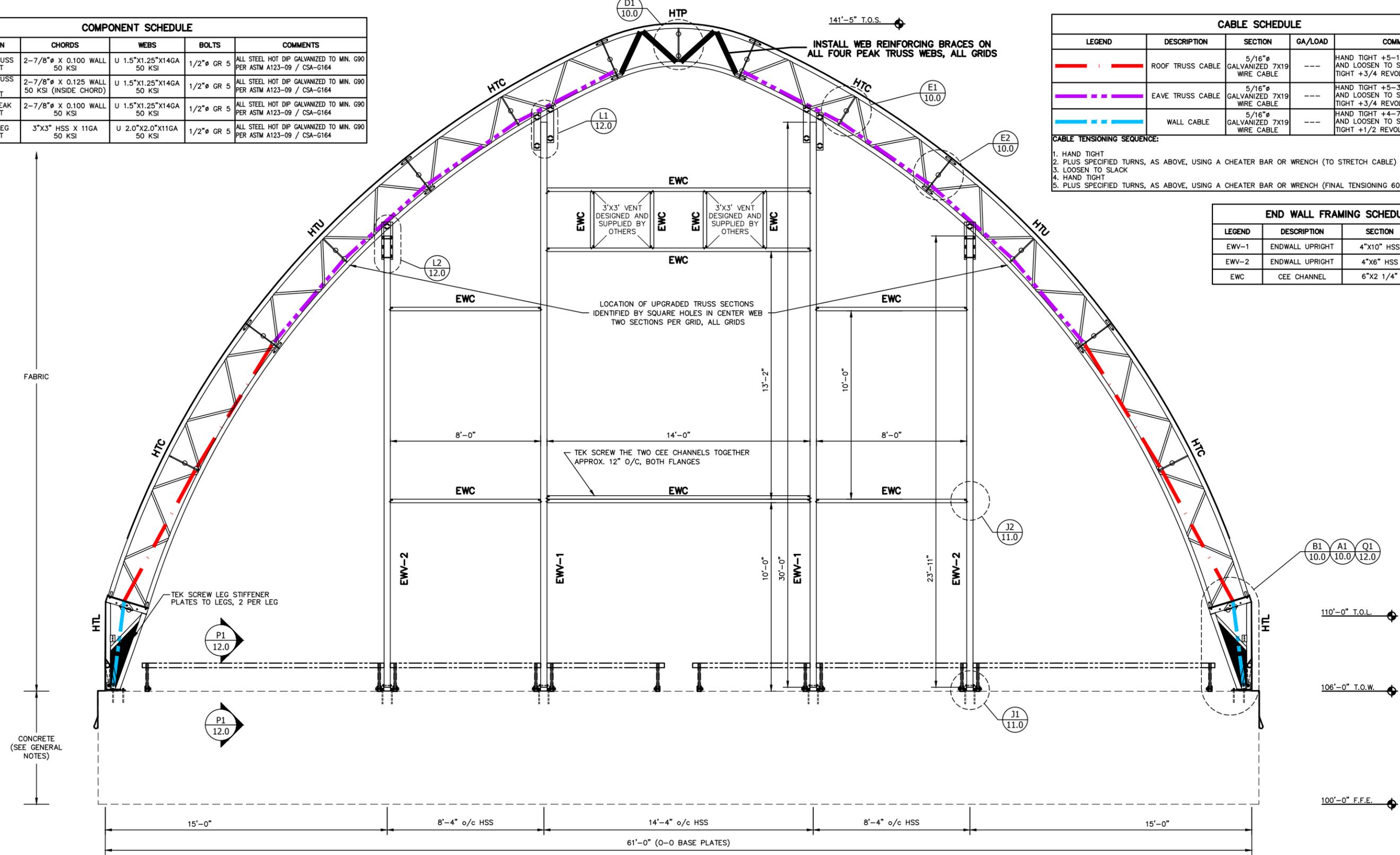
COMPONENT SCHEDULE					
MARK	DESCRIPTION	CHORDS	WEBS	BOLTS	COMMENTS
HTC	HT SERIES TRUSS COMPONENT	2-7/8" x 0.100 WALL 50 KSI	U 1.5"x1.25"x14GA 50 KSI	1/2" GR 5	ALL STEEL HOT DIP GALVANIZED TO MIN. G90 PER ASTM A123-09 / CSA-G164
HTU	HT SERIES TRUSS UPGRADE COMPONENT	2-7/8" x 0.125 WALL 50 KSI (INSIDE CHORD)	U 1.5"x1.25"x14GA 50 KSI	1/2" GR 5	ALL STEEL HOT DIP GALVANIZED TO MIN. G90 PER ASTM A123-09 / CSA-G164
HTP	HT SERIES PEAK COMPONENT	2-7/8" x 0.100 WALL 50 KSI	U 1.5"x1.25"x14GA 50 KSI	1/2" GR 5	ALL STEEL HOT DIP GALVANIZED TO MIN. G90 PER ASTM A123-09 / CSA-G164
HTL	HT SERIES LEG COMPONENT	3"x3" HSS X 11GA 50 KSI	U 2.0"x2.0"x11GA 50 KSI	1/2" GR 5	ALL STEEL HOT DIP GALVANIZED TO MIN. G90 PER ASTM A123-09 / CSA-G164

CABLE SCHEDULE				
LEGEND	DESCRIPTION	SECTION	GA/LOAD	COMMENTS
	ROOF TRUSS CABLE	5/16" GALVANIZED 7X19 WIRE CABLE	---	HAND TIGHT +5-1/4 REVOLUTIONS AND LOOSEN TO SLACK THEN HAND TIGHT +3/4 REVOLUTION
	EAVE TRUSS CABLE	5/16" GALVANIZED 7X19 WIRE CABLE	---	HAND TIGHT +5-3/4 REVOLUTIONS AND LOOSEN TO SLACK THEN HAND TIGHT +3/4 REVOLUTION
	WALL CABLE	5/16" GALVANIZED 7X19 WIRE CABLE	---	HAND TIGHT +4-7/8 REVOLUTIONS AND LOOSEN TO SLACK THEN HAND TIGHT +1/2 REVOLUTION

**CABLE TENSIONING SEQUENCE:**

- HAND TIGHT
- PLUS SPECIFIED TURNS, AS ABOVE, USING A CHEATER BAR OR WRENCH (TO STRETCH CABLE)
- LOOSEN TO SLACK
- HAND TIGHT
- PLUS SPECIFIED TURNS, AS ABOVE, USING A CHEATER BAR OR WRENCH (FINAL TENSIONING 600 LBS UNO)

END WALL FRAMING SCHEDULE			
LEGEND	DESCRIPTION	SECTION	GA/LOAD
EWV-1	ENDWALL UPRIGHT	4"x10" HSS	1/4"
EWV-2	ENDWALL UPRIGHT	4"x6" HSS	1/4"
EWC	CEE CHANNEL	6"x2 1/4"	14



END 2 - GRIDLINE 7

FOUNDATION DESIGNED AND SUPPLIED BY OTHERS

- GENERAL NOTES**
- VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. RESOLVE DISCREPANCIES WITH THE BUILDING SUPPLIER.
  - FINISHED FLOOR ELEVATION THIS SHEET = 100'-0" U.N.O.
  - ALL CONCRETE COMPONENTS ARE DESIGNED AND SUPPLIED BY OTHERS.

**NOTE:**  
 BUILDING DESIGNED AS FREE STANDING WITH NO HIGHER OBJECTS WITHIN 50' IN ANY DIRECTION.

END WALL FABRIC INFORMATION	
FABRIC TYPE	FABRIC INFORMATION
2 PIECE KEDERED END	INSTALLED IN EXTRUSION AND JOINED IN THE CENTRE USING SCHEDULE 80 PVC AND LACINB DOPE. TENSION AS PER DETAILS.

Calhoun Super Structures Ltd. 3702 Bruce Rd #10 Toro, Ontario, Canada N0H 2N0 1-800-265-3994 www.calhoun.ca www.calhounsuperstructure.com	
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CHECKED	A G B 06/10/2016
ENG. APPR.	G R 13/10/2016
1 ENGINEER APPROVAL	13/10/2016
No.	DESCRIPTION DATE
	REVISION / ISSUE

**CALHOUN**

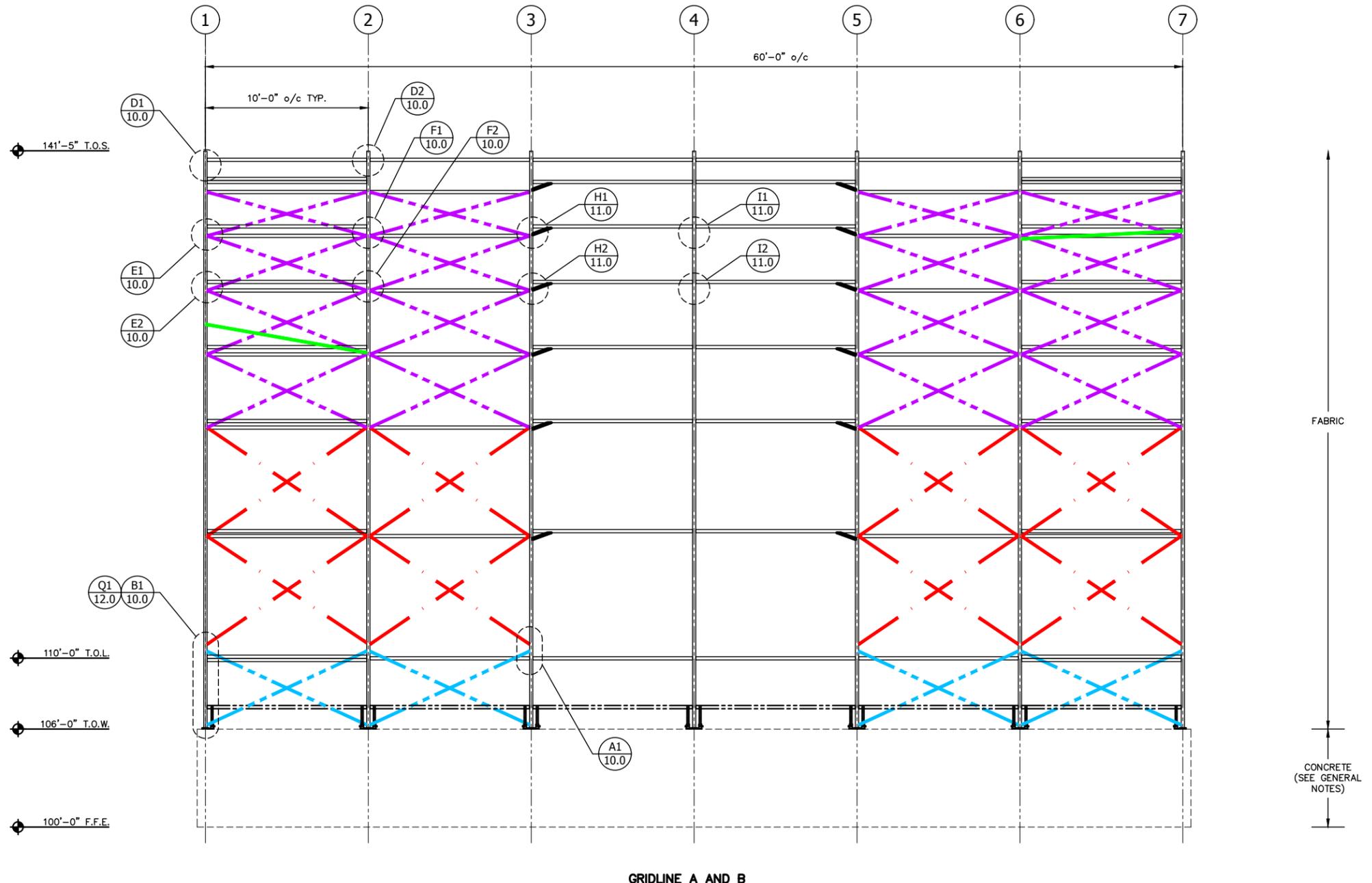
**ELEVATION B**  
**60' HT SERIES**  
**404352 HT60X60 R1**

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SCALE: 3/8"=1'-0" SHEET 7 OF 12

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GRIDLINE A AND B

TARP PRE-TENSION SCHEDULE		
FRAME SPACING	SPACER TUBE SIZE	TUBE DEFLECTION AT CENTER
6'	2-3/8"φ	1/4"
8'	2-3/8"φ	1/2"
10'	2-3/8"φ	1"
12'	2-3/8"φ	2-1/4"
12'	2-7/8"φ	1-1/4"
14'	2-7/8"φ	2-1/4"
14'	3-1/2"φ	1-1/4"
16'	3-1/2"φ	2"

END BAYS ONLY. FOR INTERIOR BAYS, VISUAL AND PHYSICAL INSPECTION OF TARP REQUIRED

FRAMING SCHEDULE				
LEGEND	DESCRIPTION	SECTION	GA/LOAD	COMMENTS
	TYPICAL PURLIN	2-7/8"φ	14	ALL BAYS
	BRACE PURLIN	U 2"x2"	11	END BAYS ONLY
	SPACER/ TENSION TUBE	2-7/8"φ	14	ALL BAYS
	ROOF TRUSS CABLE	5/16"φ GALVANIZED 7X19 WIRE CABLE	---	HAND TIGHT +5-1/4 REVOLUTIONS AND LOOSEN TO SLACK THEN HAND TIGHT +3/4 REVOLUTION
	EAVE TRUSS CABLE	5/16"φ GALVANIZED 7X19 WIRE CABLE	---	HAND TIGHT +5-3/4 REVOLUTIONS AND LOOSEN TO SLACK THEN HAND TIGHT +3/4 REVOLUTION
	WALL CABLE	5/16"φ GALVANIZED 7X19 WIRE CABLE	---	HAND TIGHT +4-7/8 REVOLUTIONS AND LOOSEN TO SLACK THEN HAND TIGHT +1/2 REVOLUTION
	KICKER PURLIN	2-7/8"φ & 2-1/2"φ	14	AS SHOWN/NOTED IN DRAWINGS

**CABLE TENSIONING SEQUENCE:**

- HAND TIGHT
- PLUS SPECIFIED TURNS, AS ABOVE, USING A CHEATER BAR OR WRENCH (TO STRETCH CABLE)
- LOOSEN TO SLACK
- HAND TIGHT
- PLUS SPECIFIED TURNS, AS ABOVE, USING A CHEATER BAR OR WRENCH (FINAL TENSIONING 800 LBS UNO)

MAIN BUILDING COVER INFORMATION	
FABRIC TYPE	COVER INFORMATION
KEDERED PANELS	INSTALLED THROUGH EXTRUSION FROM SIDE TO SIDE, TENSION AS PER DETAILS

**NOTE:**  
 BUILDING DESIGNED AS FREE STANDING WITH NO HIGHER OBJECTS WITHIN 50' IN ANY DIRECTION.

- GENERAL NOTES**
- VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. RESOLVE DISCREPANCIES WITH THE BUILDING SUPPLIER.
  - FINISHED FLOOR ELEVATION THIS SHEET = 100'-0" U.N.O.
  - ALL CONCRETE COMPONENTS ARE DESIGNED AND SUPPLIED BY OTHERS.

FOUNDATION DESIGNED AND SUPPLIED BY OTHERS

No.	DESCRIPTION	DATE
1	ENGINEER APPROVAL	13/10/2016

Calhoun Super Structures Ltd.  
 3702 Bruce Rd #10  
 Tara, Ontario, Canada  
 M2H 2N0  
 1-800-265-3994  
 www.calhoun.ca  
 www.calhounsuperstructure.com

**CALHOUN**

**ELEVATION C**  
 60' HT SERIES  
 404352 HT60X60 R1

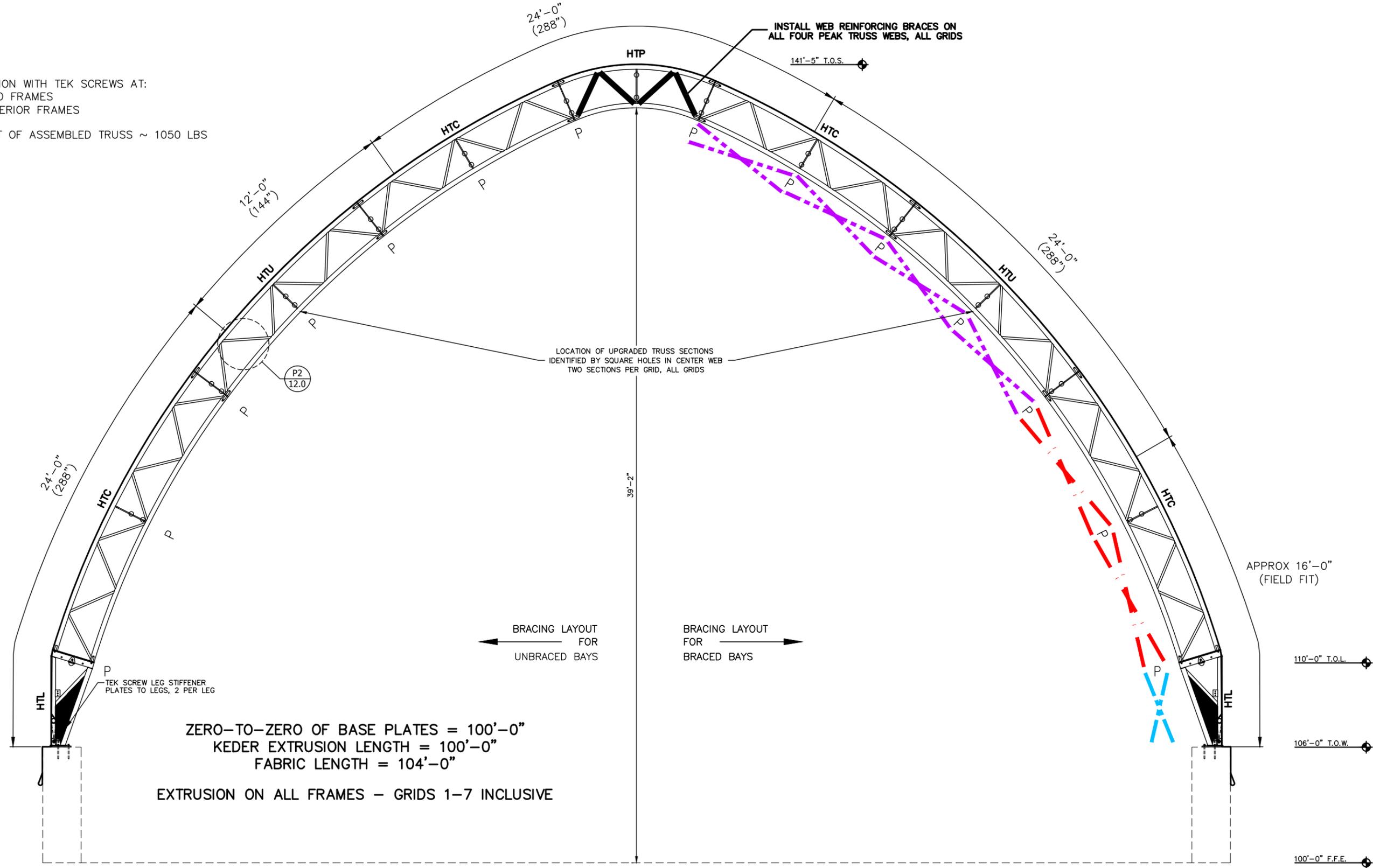
SCALE: 1/16"=1'-0" SHEET 8 OF 12

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**NOTE:**

FASTEN EXTRUSION WITH TEK SCREWS AT:  
 6" o/c FOR END FRAMES  
 9" o/c FOR INTERIOR FRAMES

APPROX. WEIGHT OF ASSEMBLED TRUSS ~ 1050 LBS



**NOTE:**  
 BUILDING DESIGNED AS FREE  
 STANDING WITH NO HIGHER  
 OBJECTS WITHIN 50' IN ANY  
 DIRECTION.

**GENERAL NOTES**

1. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. RESOLVE DISCREPANCIES WITH THE BUILDING SUPPLIER.
2. FINISHED FLOOR ELEVATION THIS SHEET = 100'-0" U.N.O.
3. ALL CONCRETE COMPONENTS ARE DESIGNED AND SUPPLIED BY OTHERS.

BRACING LEGEND	
MARK	DESCRIPTION
P	PURLIN

COMPONENT SCHEDULE					
MARK	DESCRIPTION	CHORDS	WEBS	BOLTS	COMMENTS
HTC	HT SERIES TRUSS COMPONENT	2-7/8" x 0.100 WALL 50 KSI	U 1.5"x1.25"x14GA 50 KSI	1/2" GR 5	ALL STEEL HOT DIP GALVANIZED TO MIN. G90 PER ASTM A123-09 / CSA-G164
HTU	HT SERIES TRUSS UPGRADE COMPONENT	2-7/8" x 0.125 WALL 50 KSI (INSIDE CHORD)	U 1.5"x1.25"x14GA 50 KSI	1/2" GR 5	ALL STEEL HOT DIP GALVANIZED TO MIN. G90 PER ASTM A123-09 / CSA-G164
HTP	HT SERIES PEAK COMPONENT	2-7/8" x 0.100 WALL 50 KSI	U 1.5"x1.25"x14GA 50 KSI	1/2" GR 5	ALL STEEL HOT DIP GALVANIZED TO MIN. G90 PER ASTM A123-09 / CSA-G164
HTL	HT SERIES LEG COMPONENT	3"x3" HSS X 11GA 50 KSI	U 2.0"x2.0"x11GA 50 KSI	1/2" GR 5	ALL STEEL HOT DIP GALVANIZED TO MIN. G90 PER ASTM A123-09 / CSA-G164

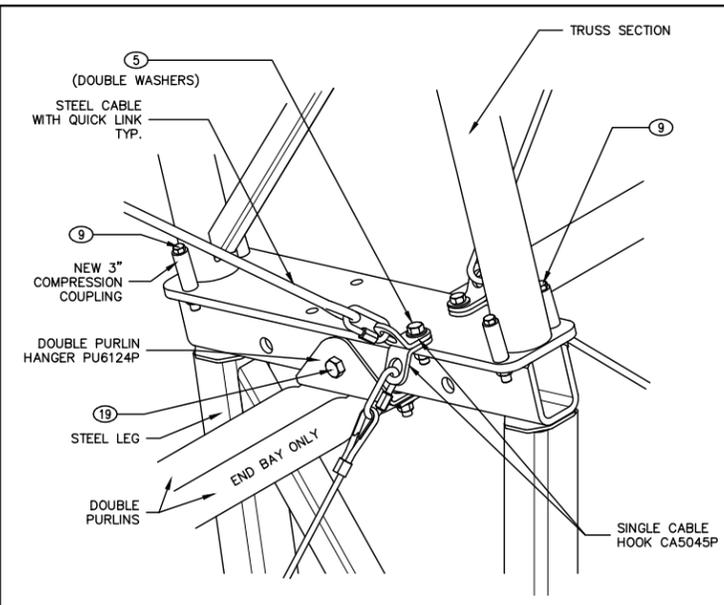
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DRAWN: L T C CHECKED: A G B ENG. APPR.: G R	DATE: 06/10/2016 DATE: 06/10/2016 DATE: 13/10/2016	
1 ENGINEER APPROVAL 13/10/2016		THE INFORMATION CONTAINED IN THIS DRAWING IS PROPRIETARY AND CONFIDENTIAL AND IS THE SOLE PROPERTY OF CALHOUN SUPER STRUCTURES LTD. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF CALHOUN SUPER STRUCTURES LTD. IS PROHIBITED.
No. DESCRIPTION DATE		
REVISION / ISSUE		SCALE: 3/8"=1'-0" SHEET 9 OF 12

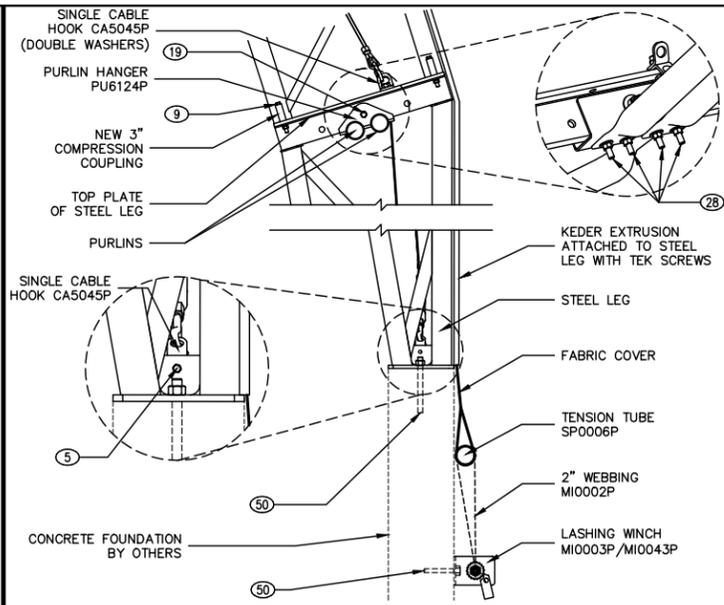
**EXTRUSION LAYOUT**  
**60' HT SERIES**  
**404352 HT60X60 R1**

Dwg. No. **9.01**  
 Scale: 3/8"=1'-0"

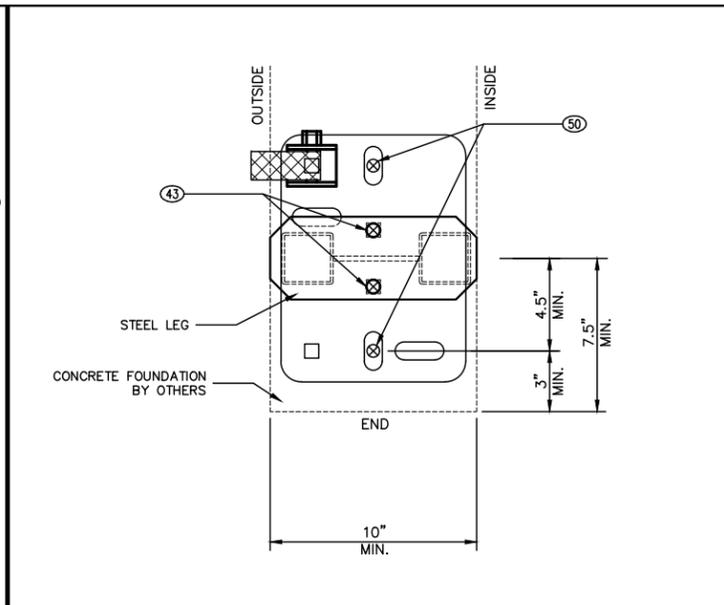
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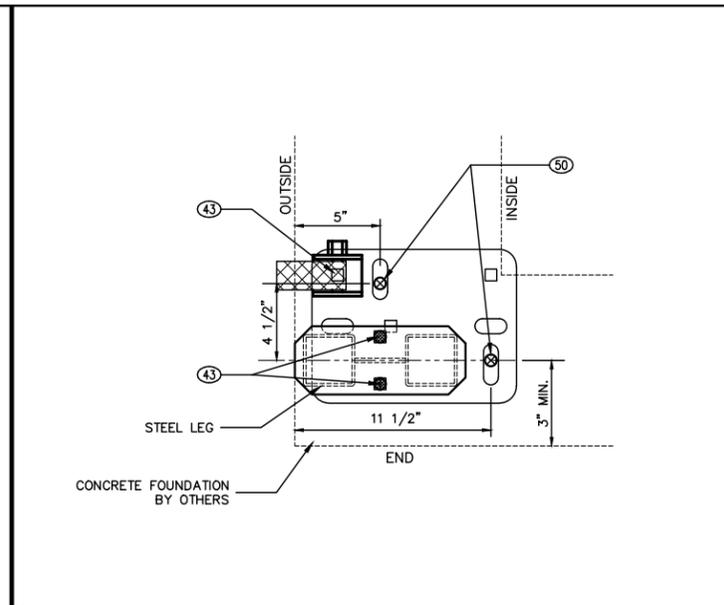
DETAIL A1 STEEL LEG MOUNT



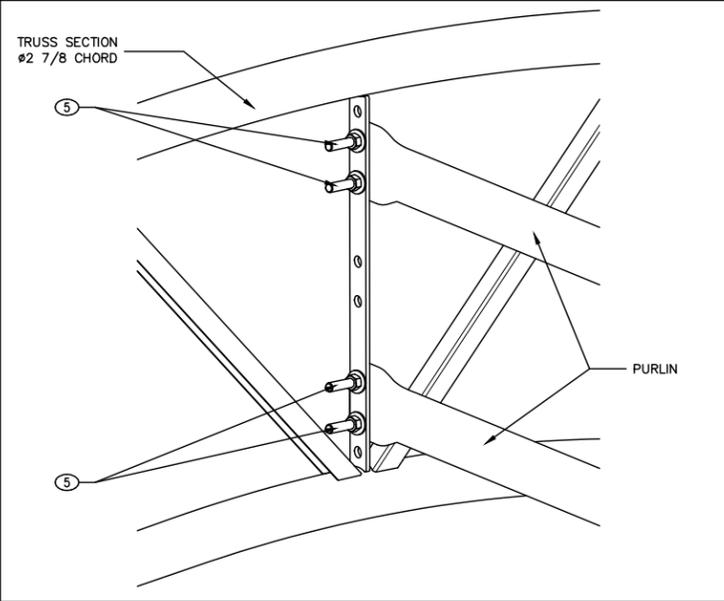
DETAIL B1 FABRIC TERMINATION



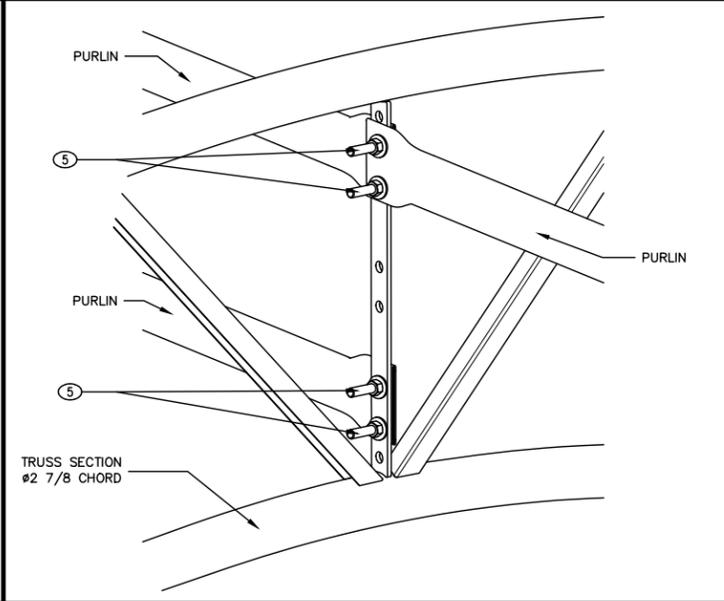
DETAIL C1 STEEL LEG MOUNT - GRIDS 2-6



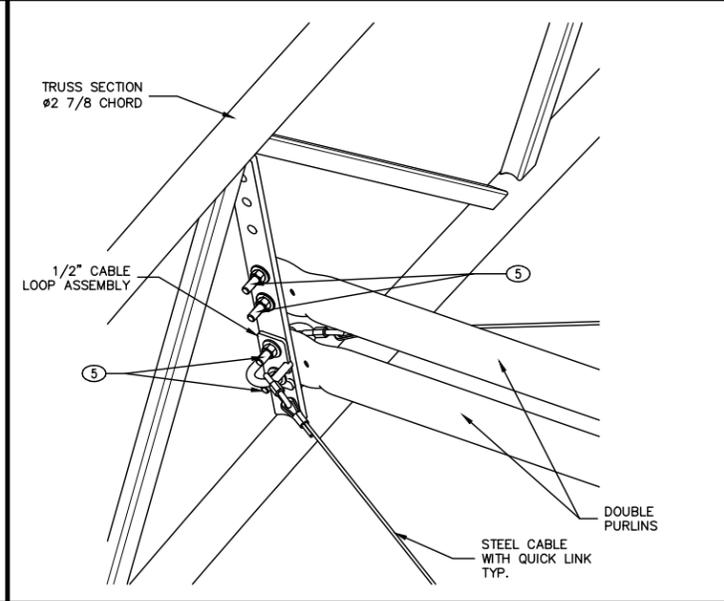
DETAIL C2 STEEL LEG MOUNT - GRIDS 1 & 7 ONLY



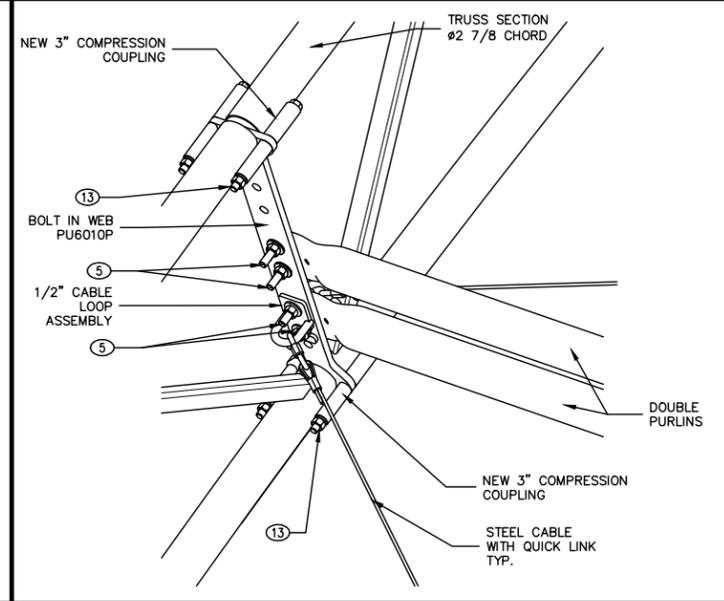
DETAIL D1 RIDGE PURLIN AT END AT WELD IN WEB



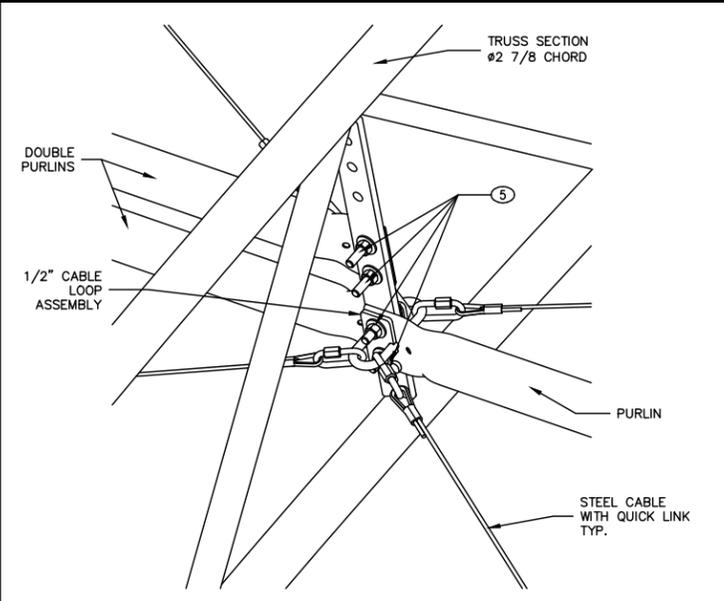
DETAIL D2 RIDGE PURLIN AT WELD IN WEB DOUBLE TO SINGLE PURLIN



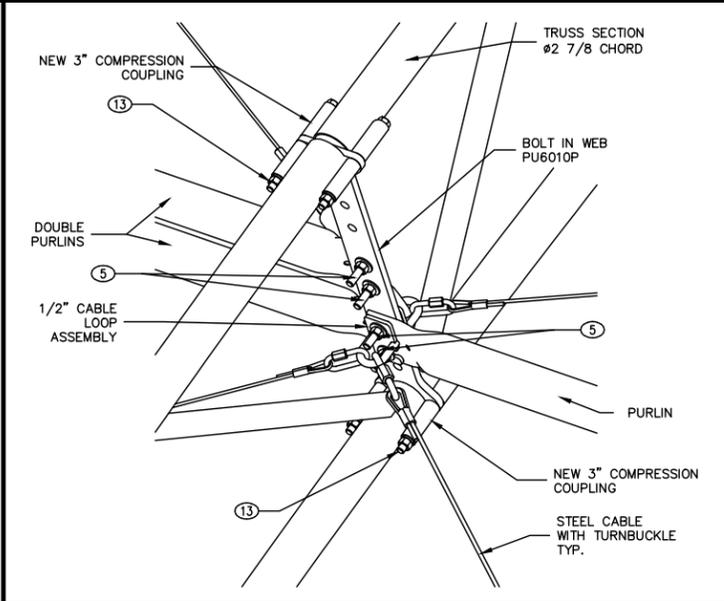
DETAIL E1 PURLINS AT END AT WELD IN WEB - TWO CABLES



DETAIL E2 PURLINS AT END AT BOLT IN WEB - TWO CABLES



DETAIL F1 DOUBLE PURLINS TO SINGLE PURLIN AT WELD IN WEB - 4 CABLES



DETAIL F2 DOUBLE PURLINS TO SINGLE PURLIN AT BOLT IN WEB - 4 CABLES

**HARDWARE SCHEDULE (AS OCCURS)**

ITEM No.	DESCRIPTION	PART No.	ITEM No.	DESCRIPTION	PART No.
	HEX BOLT 3/8 X 1-1/2	FA0029P		CARRIAGE BOLT 3/8 X 1-1/2	FC060150G5G
	----	----		CARRIAGE BOLT 3/8 X 4	FA0103P
	----	----		CARRIAGE BOLT 3/8 X 4-1/2	FA0102P
	HEX BOLT 1/2 X 1-1/2	FA0005P	28	CARRIAGE BOLT 1/2 X 2	FA0146P
5	HEX BOLT 1/2 X 2-1/2	FA0151P		CARRIAGE BOLT 1/2 X 4-1/2	FA0138P
	HEX BOLT 1/2 X 2-1/2 GR8	FA0721P		CARRIAGE BOLT 1/2 X 5	FA0127P
	HEX BOLT 1/2 X 3-1/2	FA0006P		CARRIAGE BOLT 1/2 X 5-1/2	FA0710P
	HEX BOLT 1/2 X 4	FA0009P		CARRIAGE BOLT 5/8 X 1-1/2	FA0142P
9	HEX BOLT 1/2 X 4-1/2	FA0076P		CARRIAGE BOLT 5/8 X 6	FA0717P
	HEX BOLT 1/2 X 5	FA0010P		LAG BOLT 3/8 X 1-1/2	FA0030P
	HEX BOLT 1/2 X 5-1/2	FA0080P		LAG BOLT 1/2 X 3-1/2	FA0007P
	HEX BOLT 1/2 X 6-1/2	FH080650G5G		TEK SCREWS 1/4 X 1-1/4	FA0085P
13	HEX BOLT 1/2 X 7-1/2	FH080750G5G		TEK SCREWS 1/4 X 1-1/2 GAS	FA07002P
	HEX BOLT 5/8 X 1-1/2	FA0059P		TEK SCREWS 1/4 X 1 WHITE	FA0067P
	HEX BOLT 5/8 X 2	FA0061P		TEK SCREWS 12-24 X 1-1/4	FA0147P
	HEX BOLT 5/8 X 2-1/2	FA0062P		TEK SCREWS 1/4 X 2-1/2	FA0089P
	HEX BOLT 5/8 X 3	FA0063P		----	----
	HEX BOLT 5/8 X 4	FA0055P		THREADED ROD 5/8 X 5	FR100500G2G
19	HEX BOLT 5/8 X 5	FA0074P	43	CARRIAGE BOLT 5/8 X 2	FC100200G5G
	HEX BOLT 5/8 X 6	FA0716P		HEX BOLT 1/2 X 1	FH080100G5G
	HEX BOLT 3/4 X 3	FA0077P		LAG BOLT 3/4 X 3-1/2	FG120350G2G
	HEX BOLT 3/4 X 5	FA6005P			
	HEX BOLT 7/8 X 2-1/2	FA0120P			
	HEX BOLT 1-1/4 X 4-1/2	FA0715P	50	CONCRETE ANCHORS BY OTHERS	

NOTES: REFERENCE TO BOLTS AND/OR U-BOLTS INCLUDES ASSOCIATED NUT AND WASHER ALWAYS INSTALL WASHER ON TURN SIDE OF BOLT - UNO

**ANY MODIFICATIONS OR DAMAGE TO STRUCTURE OR COMPONENTS MUST BE REPORTED IMMEDIATELY TO CALHOUN SUPER STRUCTURES. ALL REPAIRS MUST BE APPROVED BY EOS IN WRITING.**

**FOUNDATION DESIGNED AND SUPPLIED BY OTHERS**

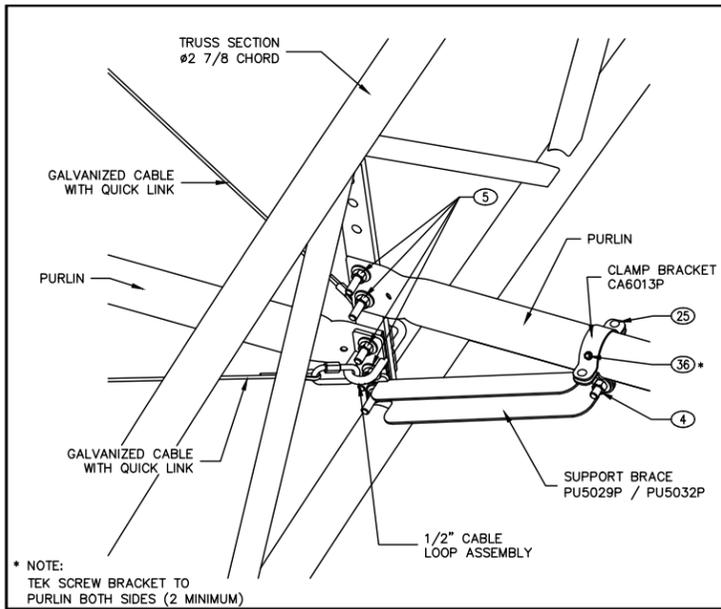
Calhoun Super Structures Ltd. 3702 Bruce Rd #10 Tara, Ontario, Canada N0H 2N0 1-800-265-3994 www.calhoun.ca www.calhounsuperstructures.com		NAME L T C	DATE 06/10/2016
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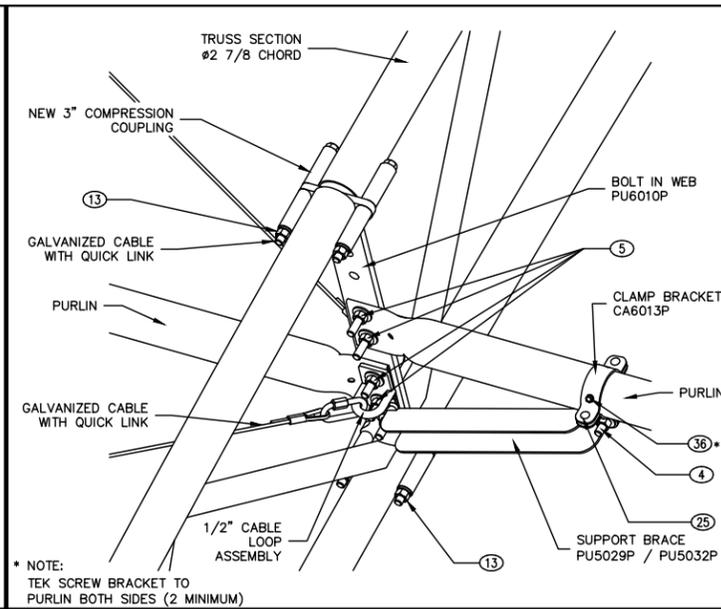
**DETAILS**  
60' HT SERIES  
404352 HT60X60 R1

SCALE: **D**  
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N T S 10 OF 12

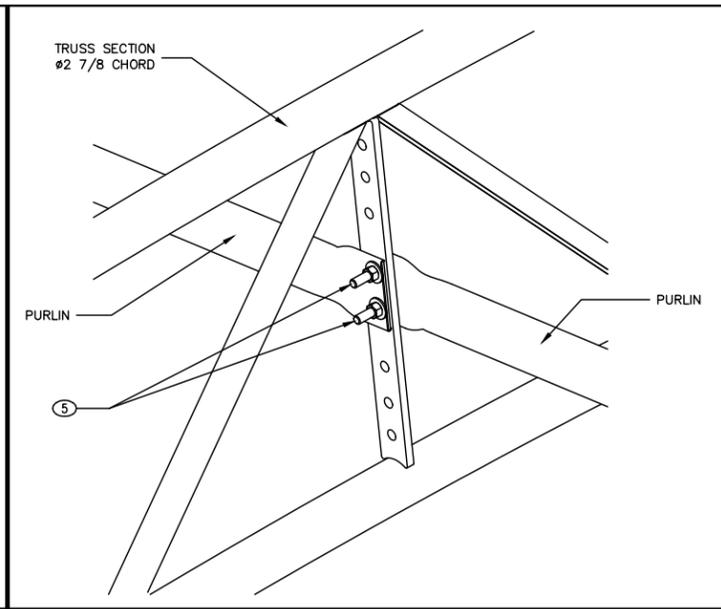
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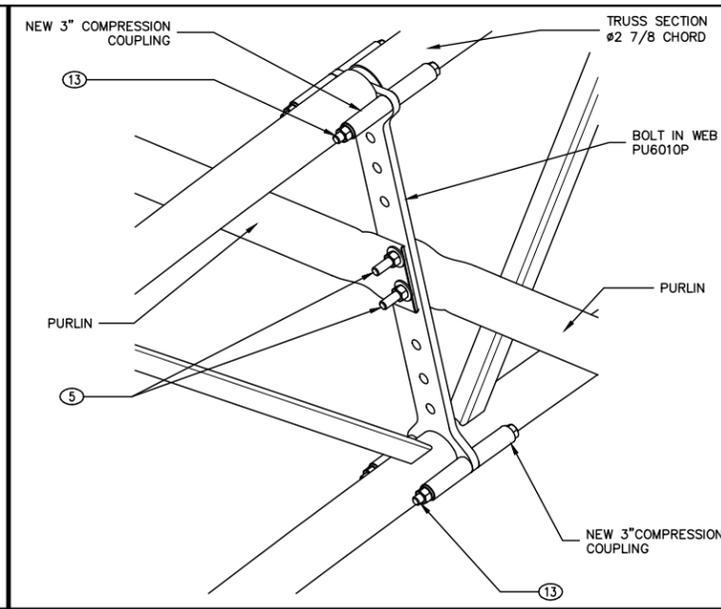
DETAIL H1 BRACED BAY TO UNBRACED BAY AT WELD IN WEB - 2 CABLES



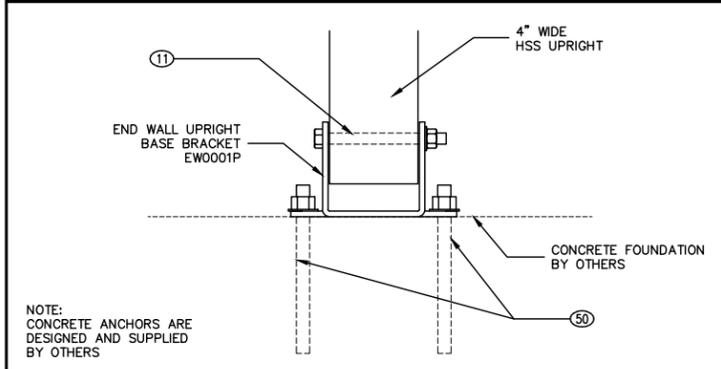
DETAIL H2 BRACED BAY TO UNBRACED BAY AT BOLT IN WEB - 2 CABLES



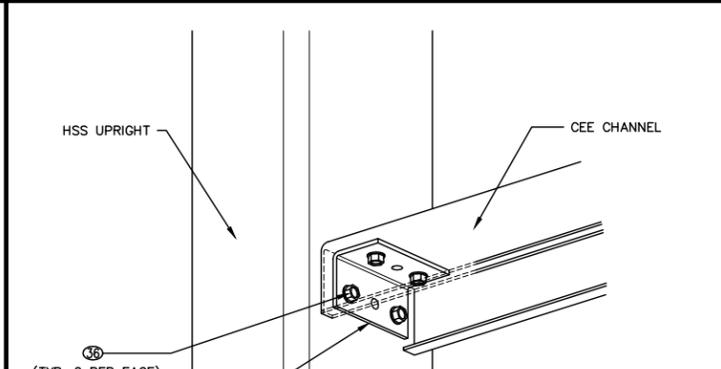
DETAIL I1 UNBRACED BAY TO UNBRACED BAY AT WELD IN WEB



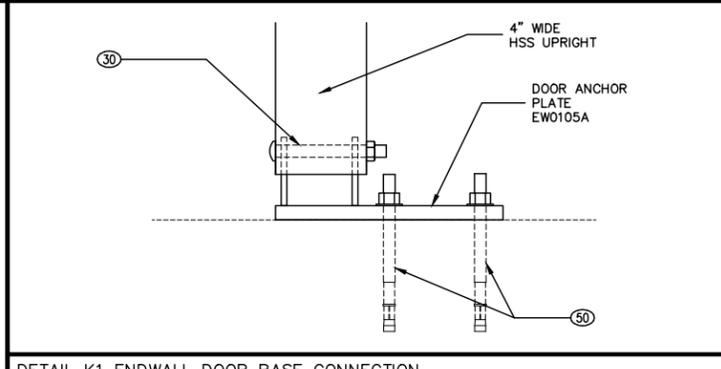
DETAIL I2 UNBRACED BAY TO UNBRACED BAY AT BOLT IN WEB



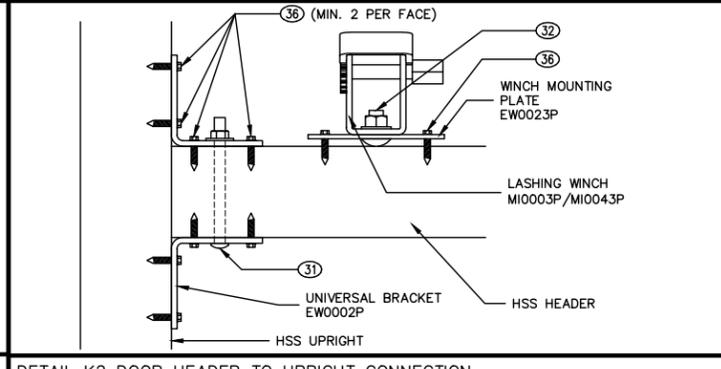
DETAIL J1 ENDWALL UPRIGHT BASE CONNECTION - 4"



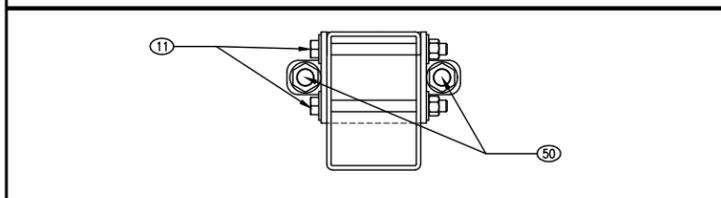
DETAIL J2 ENDWALL UPRIGHT TO CEE CHANNEL CONNECTION



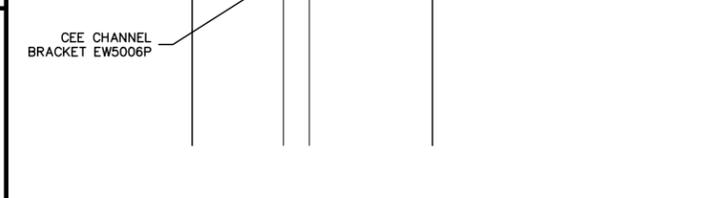
DETAIL K1 ENDWALL DOOR BASE CONNECTION



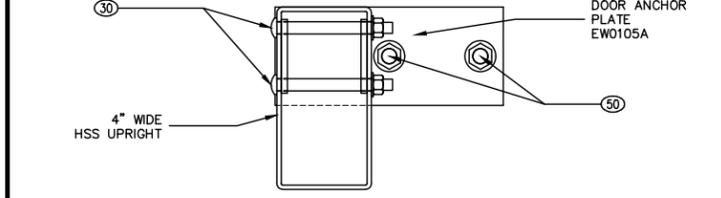
DETAIL K2 DOOR HEADER TO UPRIGHT CONNECTION



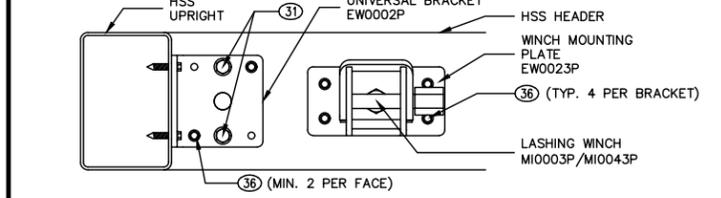
PLAN VIEW J1



DETAIL J2 ENDWALL UPRIGHT TO CEE CHANNEL CONNECTION



PLAN VIEW K1



PLAN VIEW K2

HARDWARE SCHEDULE (AS OCCURS)					
ITEM No.	DESCRIPTION	PART No.	ITEM No.	DESCRIPTION	PART No.
---	HEX BOLT 3/8 X 1-1/2	FA0029P	25	CARRIAGE BOLT 3/8 X 1-1/2	FC060150G5G
---	---	---	---	CARRIAGE BOLT 3/8 X 4	FA0103P
---	---	---	---	CARRIAGE BOLT 3/8 X 4-1/2	FA0102P
4	HEX BOLT 1/2 X 1-1/2	FA0005P	---	CARRIAGE BOLT 1/2 X 2	FA0146P
5	HEX BOLT 1/2 X 2-1/2	FA0151P	---	CARRIAGE BOLT 1/2 X 4-1/2	FA0138P
---	HEX BOLT 1/2 X 2-1/2 GRB	FA7021P	30	CARRIAGE BOLT 1/2 X 5	FA0127P
---	HEX BOLT 1/2 X 3-1/2	FA0006P	31	CARRIAGE BOLT 1/2 X 5-1/2	FA7010P
---	HEX BOLT 1/2 X 4	FA0009P	32	CARRIAGE BOLT 5/8 X 1-1/2	FA0142P
---	HEX BOLT 1/2 X 4-1/2	FA0076P	---	CARRIAGE BOLT 5/8 X 6	FA7017P
---	HEX BOLT 1/2 X 5	FA0010P	---	LAG BOLT 3/8 X 1-1/2	FA0030P
11	HEX BOLT 1/2 X 5-1/2	FA0080P	---	LAG BOLT 1/2 X 3-1/2	FA0007P
---	HEX BOLT 1/2 X 6-1/2	FH080650G5G	36	TEK SCREWS 1/4 X 1-1/4	FA0085P
13	HEX BOLT 1/2 X 7-1/2	FH080750G5G	---	TEK SCREWS 1/4 X 1-1/2 GAS	FA7002P
---	HEX BOLT 5/8 X 1-1/2	FA0059P	---	TEK SCREWS 1/4 X 1 WHITE	FA0067P
---	HEX BOLT 5/8 X 2	FA0061P	---	TEK SCREWS 12-24 X 1-1/4	FA0147P
---	HEX BOLT 5/8 X 2-1/2	FA0062P	---	TEK SCREWS 1/4 X 2-1/2	FA0089P
---	HEX BOLT 5/8 X 3	FA0063P	---	---	---
---	HEX BOLT 5/8 X 4	FA0055P	---	THREADED ROD 5/8 X 5	FR100500G2G
---	HEX BOLT 5/8 X 5	FA0074P	---	CARRIAGE BOLT 5/8 X 2	FC100200G5G
---	HEX BOLT 5/8 X 6	FA7016P	---	HEX BOLT 1/2 X 1	FH080100G5G
---	HEX BOLT 3/4 X 3	FA0077P	---	LAG BOLT 3/4 X 3-1/2	FG120350G2G
---	HEX BOLT 3/4 X 5	FA6005P	---	---	---
---	HEX BOLT 7/8 X 2-1/2	FA0120P	---	---	---
---	HEX BOLT 1-1/4 X 4-1/2	FA7015P	50	CONCRETE ANCHORS BY OTHERS	---

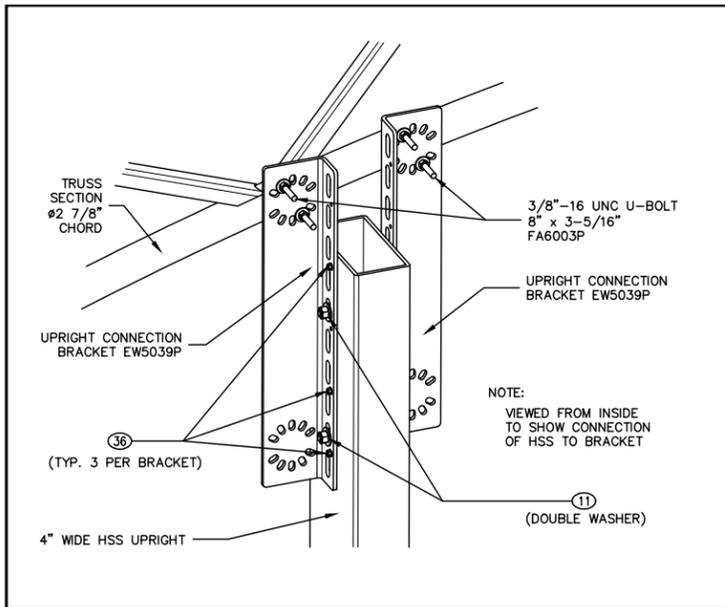
NOTES: REFERENCE TO BOLTS AND/OR U-BOLTS INCLUDES ASSOCIATED NUT AND WASHER  
 ALWAYS INSTALL WASHER ON TURN SIDE OF BOLT - UNO

ANY MODIFICATIONS OR DAMAGE TO STRUCTURE OR COMPONENTS MUST BE REPORTED IMMEDIATELY TO CALHOUN SUPER STRUCTURES. ALL REPAIRS MUST BE APPROVED BY EOS IN WRITING.

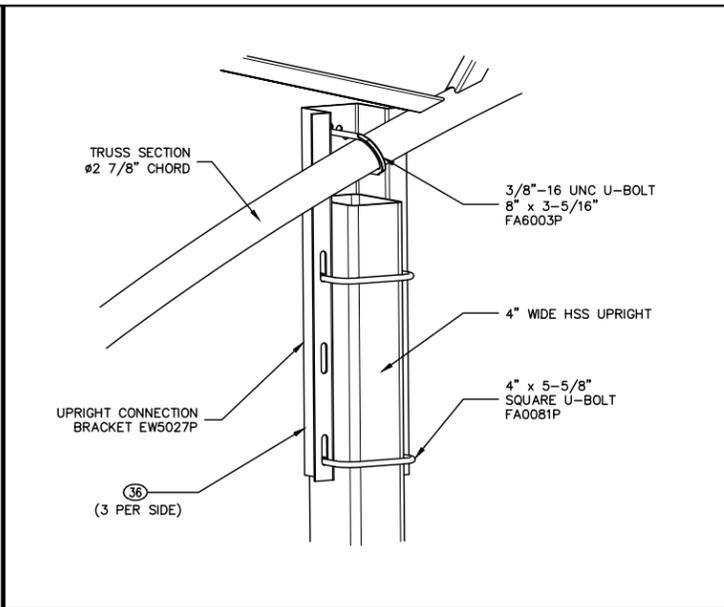
FOUNDATION DESIGNED AND SUPPLIED BY OTHERS

Calhoun Super Structures Ltd 3702 Bruce Rd #10 Tara, Ontario, Canada N0H 2N0 1-800-265-3994 www.calhoun.ca www.calhounsuperstructure.com		
NAME: L T C DATE: 06/10/2016 DRAWN: A G B CHECKED: G R ENG. APPR: G R DATE: 13/10/2016	THE INFORMATION CONTAINED IN THIS DRAWING IS PROPRIETARY AND CONFIDENTIAL AND IS THE SOLE PROPERTY OF CALHOUN SUPER STRUCTURES LTD. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF CALHOUN SUPER STRUCTURES LTD. IS PROHIBITED.	
1 ENGINEER APPROVAL No. DESCRIPTION DATE	13/10/2016 DATE	SCALE: D SHEET: 11 OF 12

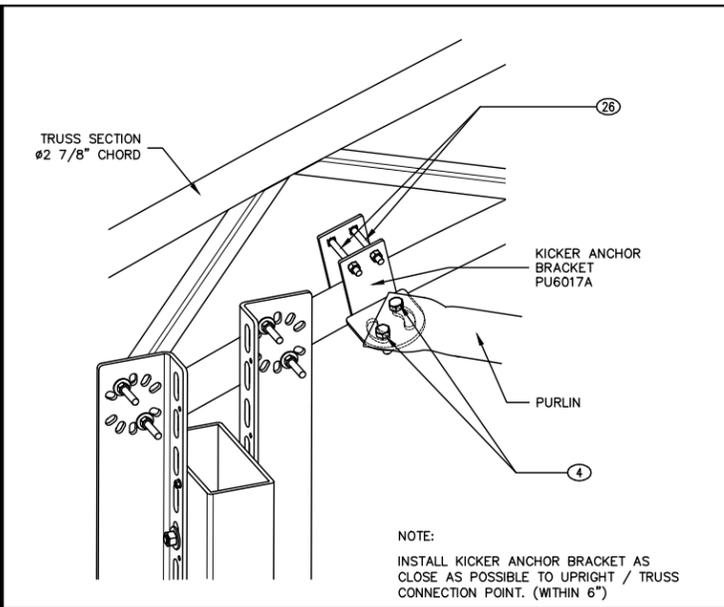
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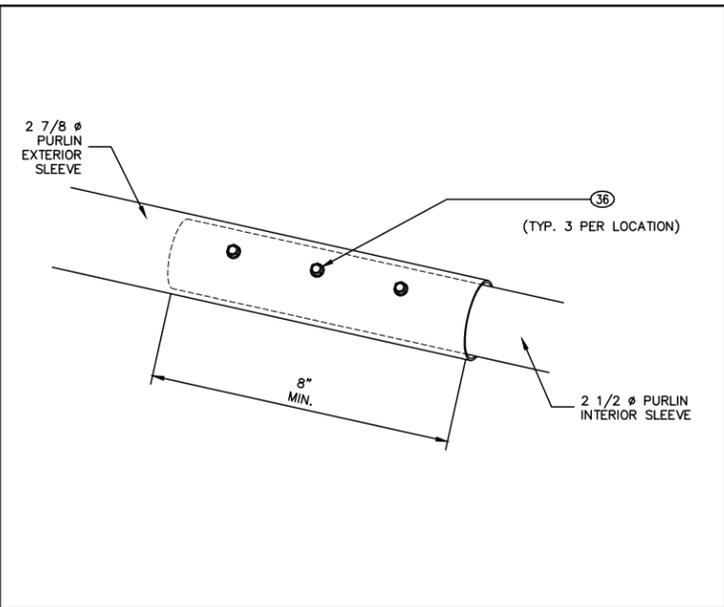
DETAIL L1 ENDWALL UPRIGHT CONNECTION AT TRUSS



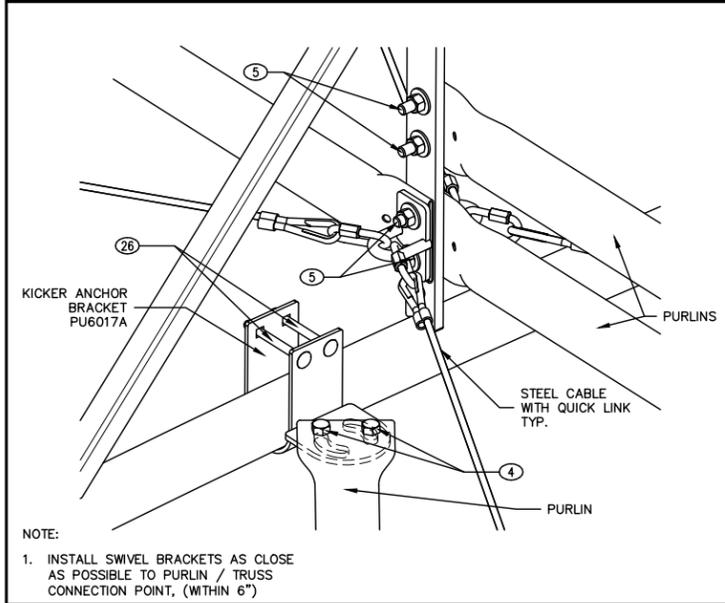
DETAIL L2 ENDWALL UPRIGHT CONNECTION AT TRUSS - 4X6 HSS



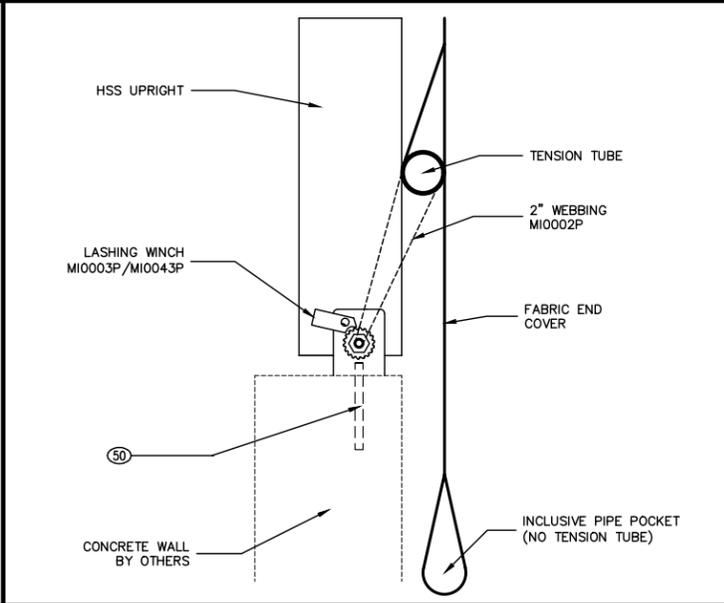
DETAIL M1 KICKER TO TRUSS CONNECTION AT UPRIGHT



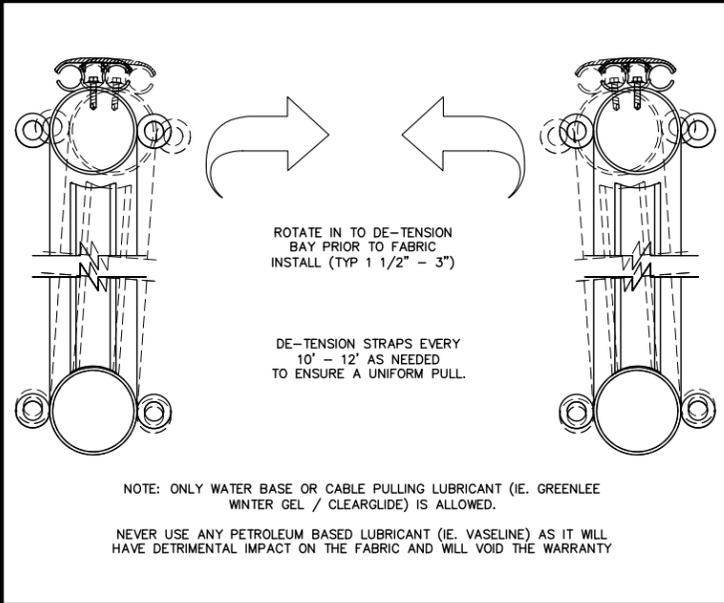
DETAIL N1 SLEEVED KICKER CONNECTION



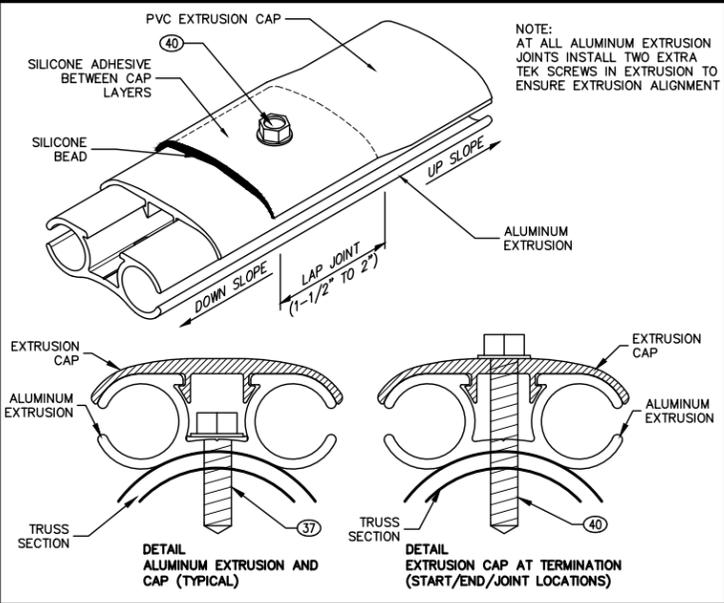
DETAIL O1 KICKER TO TRUSS CONNECTION AT WELD IN WEB



DETAIL P1 END WALL FABRIC ON HSS ON CONC. WALL AT UPRIGHT



DETAIL P2 - KEDER PANEL INSTALLATION



DETAIL Q1 - CC/HT ALUMINUM EXTRUSION AND EXTRUSION CAP (TYPICAL)

HARDWARE SCHEDULE (AS OCCURS)					
ITEM No.	DESCRIPTION	PART No.	ITEM No.	DESCRIPTION	PART No.
	HEX BOLT 3/8 X 1-1/2	FA0029P		CARRIAGE BOLT 3/8 X 1-1/2	FC060150G5G
	----	----	26	CARRIAGE BOLT 3/8 X 4	FA0103P
	----	----		CARRIAGE BOLT 3/8 X 4-1/2	FA0102P
4	HEX BOLT 1/2 X 1-1/2	FA0005P		CARRIAGE BOLT 1/2 X 2	FA0146P
5	HEX BOLT 1/2 X 2-1/2	FA0151P		CARRIAGE BOLT 1/2 X 4-1/2	FA0138P
	HEX BOLT 1/2 X 2-1/2 GR8	FA7021P		CARRIAGE BOLT 1/2 X 5	FA0127P
	HEX BOLT 1/2 X 3-1/2	FA0006P		CARRIAGE BOLT 1/2 X 5-1/2	FA7010P
	HEX BOLT 1/2 X 4	FA0009P		CARRIAGE BOLT 5/8 X 1-1/2	FA0142P
	HEX BOLT 1/2 X 4-1/2	FA0076P		CARRIAGE BOLT 5/8 X 6	FA7017P
	HEX BOLT 1/2 X 5	FA0010P		LAG BOLT 3/8 X 1-1/2	FA0030P
11	HEX BOLT 1/2 X 5-1/2	FA0080P		LAG BOLT 1/2 X 3-1/2	FA0007P
	HEX BOLT 1/2 X 6-1/2	FH080650G5G	36	TEK SCREWS 1/4 X 1-1/4	FA0085P
	HEX BOLT 1/2 X 7-1/2	FH080750G5G	37	TEK SCREWS 1/4 X 1-1/2 GAS	FA7002P
	HEX BOLT 5/8 X 1-1/2	FA0059P		TEK SCREWS 1/4 X 1 WHITE	FA0067P
	HEX BOLT 5/8 X 2	FA0061P		TEK SCREWS 12-24 X 1-1/4	FA0147P
	HEX BOLT 5/8 X 2-1/2	FA0062P	40	TEK SCREWS 1/4 X 2-1/2	FA0089P
	HEX BOLT 5/8 X 3	FA0063P	----	----	----
	HEX BOLT 5/8 X 4	FA0055P		THREADED ROD 5/8 X 5	FR100500G2G
	HEX BOLT 5/8 X 5	FA0074P		CARRIAGE BOLT 5/8 X 2	FC100200G5G
	HEX BOLT 5/8 X 6	FA7016P		HEX BOLT 1/2 X 1	FH080100G5G
	HEX BOLT 3/4 X 3	FA0077P		LAG BOLT 3/4 X 3-1/2	FG120350G2G
	HEX BOLT 3/4 X 5	FA6005P			
	HEX BOLT 7/8 X 2-1/2	FA0120P			
	HEX BOLT 1-1/4 X 4-1/2	FA7015P	50	CONCRETE ANCHORS BY OTHERS	

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Calhoun Super Structures Ltd 3702 Bruce Rd #10 Tara, Ontario, Canada N0H 2N0 1-800-265-3994 www.calhoun.ca www.calhounsuperstructure.com		
NAME: L T C DATE: 06/10/2016 DRAWN: A G B CHECKED: G R ENG. APPR: G R DATE: 13/10/2016	<b>DETAILS</b> <b>60' HT SERIES</b> <b>404352 HT60X60 R1</b>	
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# LIST OF ANNUAL LICENSE RENEWALS

## Liquor Licenses

### Class A

Allen's Wine & Spirits, Inc., 3001 East Main Road  
Ferreira's Package Store, Inc., 1965 East Main Road  
Pozdnyakova, Inc. d/b/a Portsmouth Liquors, 1557 West Main Road

### Class BH

Roger Williams University, 144 Anthony Road

### Class BT

Roger Williams University, 144 Anthony Road

### Class BV

Anna D Café, LLC, 954 East Main Road  
Fieldstone's LLC, 980 East Main Road  
Smith Harbor House LLC d/b/a 15 Point Road, 15 Point Road  
Graziano's 501 Café, LLC, 501 Park Avenue  
Green Valley Country Club, Inc., 371 Union Street  
Those Crazy Kids, LLC d/b/a The Gulf Stream Bar & Grille, 1 Lagoon Road  
Oceanside Enterprises LLC d/b/a Portsmouth Publick House, 600 Clock Tower Square  
Rocco's Little Italy LLC, 880 East Main Road  
Jonathan Martin's, Inc. d/b/a Jonathans Scampi, 657 Park Avenue

### Class D

Alvero E. Vieira Memorial Post Home, Inc. VFW Post #5390, 822 Anthony Road  
Montaup Country Club, 500 Anthony Road  
Portsmouth Portuguese American Citizens Club, 35 Power Street  
Seaconnet Sportsman's Club, 145 Sakonnet Drive

### Class J

Newport Polo, Inc., Glen Farm (Town of Portsmouth Property)

## Sunday Sales Licenses

Allen's Wine & Spirits, Inc., 3001 East Main Road  
Ferreira's Package Store, Inc., 1965 East Main Road  
Pozdnyakova, Inc. d/b/a Portsmouth Liquors, 1557 West Main Road

## Victualler Licenses

Álvaro E. Vieira Memorial Post Home VFW Post 5390, 822 Anthony Road  
Anna D Café, LLC, 954 East Main Road  
Chris & Sofia Stefanopoulos d/b/a Chris's Diner, 1824 East Main Road  
Cindy's Country Café, Inc., 1324 West Main Road  
Clements' Marketplace, Inc., 2575 East Main Road  
Cumberland Farms, Inc. d/b/a Cumberland Farms #1218, 1812 East Main Road  
Cumberland Farms, Inc. d/b/a Cumberland Farms # 1237, 3166 East Main Road  
JFBF Realty Partners LLC d/b/a Dunkin Donuts, 1550 West Main Road  
Portsmouth Donuts, Inc. d/b/a Dunkin Donuts, 3001 East Main Road  
Aquidneck Coffee Partners LLC d/b/a Empire Tea & Coffee, 2005 East Main Road  
Fieldstones, LLC, 980 East Main Road  
Smith Harbor House, LLC d/b/a 15 Point Road, 15 Point Road  
Komes Rozes, d/b/a Flo's Drive In, 324 Park Avenue  
Graziano's 501 Café, LLC, 501 Park Avenue  
The Green Grocer, Inc., 934 East Main Road  
Green Valley Country Club, Inc., 371 Union Street  
Those Crazy Kids, LLC d/b/a The Gulf Stream Bar & Grille, 1 Lagoon Road  
Nadder Hajjar Corp d/b/a Little Corner Store & Deli, 903 Anthony Road  
44 Enterprises LLC d/b/a Martino's Pizzeria, 3001 East Main Road  
Drake Petroleum Co., Inc. d/b/a Melville Xtra Mart, 1568 West Main Road  
with Extended Hours  
Montaup Country Club, 500 Anthony Road  
New China Garden, Inc., 3288 East Main Road  
New China Gourmet, LLC, 3001 East Main Road  
The North End Pizzeria, Inc., 3030 East Main Road  
Portsmouth Portuguese American Citizens Club, 35 Power Street  
Oceanside Enterprises LLC d/b/a Portsmouth Publick House, 600 Clock Tower Square  
Lori Cubellis d/b/a Prudence Variety, 0837 Narragansett Ave., Prudence Island  
Reidy's Restaurant, 3351 East Main Road  
Rocco's Little Italy LLC, 880 East Main Road  
Roger Williams University, 144 Anthony ROAD  
Jonathan Martin's, Inc. d/b/a Jonathans Scampi, 657 Park Avenue  
Schultzzy's Snack Shack, Inc., 346 Park Avenue  
Seaconnet Sportsman's Club, 145 Sakonnet Drive  
JDDS Enterprises, Inc. d/b/a Subway, 8 Russo Road  
RySav, Inc. d/b/a Subway, 2005 East Main Road

## Amusement Games

# Games

1 Portsmouth Portuguese American Citizens Club, 35 Power Street

## **Peddler Licenses**

Boru Noodles LLC d/b/a Boru Noodle Bar, 36 Broadway, Newport, RI – 1 vehicle  
Castaway Gourmet, LLC, 60 Selina Lane – 1 vehicle  
FlatWaves LLC, 1130 Aquidneck Ave, Middletown, RI – 1 vehicle  
Greg Doyle's Canteen Ltd d/b/a Greg's Canteen Ltd, 120 Broadcommon Rd, Bristol, RI  
– 1 vehicle  
Rhode Island Kona LLC d/b/a Kona Ice, 4 Cider Lane, Greenville, RI – 1 vehicle  
Palagi's 2000 Inc d/b/a Palagi's Ice Cream, 55 Bacon Street., Pawtucket, RI – 1 vehicle  
Pete's Ice Cream, LLC, 122 Viking Drive – 2 vehicles  
2<sup>nd</sup> Time Around Sports Plus, 328 Atwood Avenue, Cranston, RI

## **Holiday Licenses**

Byron & Gina Rymer d/b/a All Island Landscape, 2829 East Main Road  
Margaret H. Stevenson d/b/a The Anchorage, 0241 Governor Paine Rd, Prudence Island  
Dolgen RI LLC d/b/a Dollar General, 3228 East Main Road  
MAD Marc Inc. d/b/a Domina's Agway, 1348 East Main Road  
Eagle's Nest Antique Center d/b/a Eagle's Nest Antiques, 3101 East Main Road  
Green Valley Country Club, Inc., 371 Union Street  
Greenleaf Compassionate Care Center Inc, 1637 West Main Road  
Greenvale Vineyards, Ltd, 582 Wapping Road  
Island Garden Shop, Inc., 54 Bristol Ferry Road  
Drake Petroleum Co., Inc. d/b/a Melville Xtra Mart, 1568 West Main Road  
The Portsmouth Shop, Inc., 2511 East Main Road  
Lori Cubellis d/b/a Prudence Variety, 0837 Narragansett Ave., Prudence Island  
Maxi Drug South, Inc. d/b/a Rite Aid #10232, 3034 East Main Road  
Maxi Drug South, Inc. d/b/a Rite Aid #10233, 2456 East Main Road  
Stone Bridge Holdings LLC d/b/a Stone Bridge Marina, 17 Point Road

## **Gunsmith/Gun Dealers**

William G. Lapointe d/b/a Cottrell, Lapointe, William & Philip, 192 Narragansett Blvd.  
Pocasset Arms LLC, 2968 East Main Rd

## **Private Detective**

Chenega Security Services d/b/a Charles N. Morin, 142 Viking Drive

PORTSMOUTH TOWN COUNCIL MEETING

October 3, 2016

7:00 PM – TOWN COUNCIL CHAMBERS, TOWN HALL, 2200 EAST MAIN ROAD

MEMBERS PRESENT: Keith E. Hamilton, James A. Seveney, Kevin M. Aguiar, Michael A. Buddemeyer David M. Gleason, Elizabeth A. Pedro and Joseph W. Robicheau

**PLEDGE OF ALLEGIANCE**

A moment of silence for our men and women around the world in harm's way.

President Hamilton thanked Police Chief Lee and the Portsmouth Police force along with the RI State Police Force for taking care of the situation last night.

**SITTING AS THE PORTSMOUTH TOWN COUNCIL**

**OLD BUSINESS**

1. PUBLIC HEARING: Bill's Sales Firewood Sound Variance Application

- a. Petitioner's Memorandum 8/22/2016. / R. Lantz, Owner, Bill's Sales Firewood & A. Thayer, Esq., Sayer, Regan & Thayer
- b. Objection to Sound Variance Request of the Portsmouth Noise Ordinance – Bill's Sales, Robert Lantz. / Mr. & Mrs. Waring, 30 Crossings Court

Adam Thayer, Esq., Sayer, Regan and Thayer, representing the petitioner, Bill's Sales Firewood, addressed the Council stating that the petitioner is seeking a sound variance on the noise ordinance on a commercial lot abutting a residential property. They are asking for a sound variance during their normal working hours: Monday through Saturday from 7 am to 6 pm and Sunday from 8 am to 4 pm.

Mr. Thayer provided the following reasoning for the Council to approve the variance:

- Many corrective actions have been made by Mr. Lantz including the installation of a 14-foot cement wall, a sound barrier fence, and moving equipment away from the adjoining property line in attempts to lower the decibel level. However, it is improbable, probably impossible, to maintain the 65 decibel level required at the property line abutting a residential property;

- A commercial property sustains the town with its tax dollars, whereas a residential property costs the town more than its tax dollars;
- Testing has shown that area road noise is higher than 65 decibels and there must be an assumption that residents were aware of this level of noise before moving there and that it is to be expected;
- There are letters from four abutters supporting Mr. Lantz and his request.

Mr. Thayer suggested a 75 decibel limit during business hours.

In response to Mr. Robicheau as to whether noise measurements have been taken during business hours - yes, however, there are momentary spikes of noise that occur during the day.

In response to Mr. Aguiar on mitigation - arborvitae have been planted and a truck has been placed along the fence and these will remain in place. The 75 decibel limit would be maintained only when business is open and the work, processing wood, would not be done on Sundays or federal holidays, only retail would be occurring those days.

In response to Mr. Seveney on keeping it at the 55 decibels during evening hours - yes.

In response to Mr. Gleason on where the readings were taken - the sound points were taken while standing back from the road.

Should Bill's Sales exceed the 75 decibels, Municipal Court would not look favorably on it and the Town Council can review the variance if there are more violations.

Ms. Pedro stated that it is up to the Council to decide if they can operate on holidays and what hours to allow the variance daily.

Mr. Robicheau asked what was done when Mr. Lantz requested the new building variance.

Mr. Aguiar, who had been on the Zoning Board of Review at that time, stated that they were granted a special use permit which did not allow noise, smoke, odor or other objectionable features.

Mr. Robicheau stated that there is a stipulation for approval of a special use permit and that there should be none of those issues. The business would need to comply with that stipulation.

Mr. Thayer stated that the Zoning Officer has issued a letter stating there are no infractions.

Mr. Robicheau asked, “to be in compliance what does a business have to do?”

Mr. Aguiar stated the Zoning Board gets testimony and comments from abutters. Mr. Lantz has taken steps to mitigate the noise and found it can't be done, so they are here asking for a variance.

Mr. Thayer stated, “This is a business that already existed, there was no changing of the character of the business and presumably houses purchased there were bought at a price reflecting that business in the area.”

Mr. Gleason said that in the 2010 and 2012 applications, the Lantz's lawyer stated when applying for the variance “no nuisance or hazard.”

President Hamilton stated that they have taken steps to mitigate noise. He opened the public hearing for comments.

Terry Lorenz, 200 Prospect Farm Road, stated that she feels “noise is the problem, if we let this happen, will more businesses want the same variance? Who is this reasonable to? This is a residential property.”

Tarney Waring, 30 Crossings Court, played a video demonstrating the noise heard inside and outside his house. He objects to this noise variance. A noise variance should be for a specific purpose and time. The operation of the business is way too broad and compromises residents' rights. There is screeching, dropping of wood and excessive banging, fumes and odors, and metal banging of a garbage dumpster 14 times in a row on June 2<sup>nd</sup> 2016. There were eight infractions over a half hour period each day of October 9<sup>th</sup> and 20<sup>th</sup>. If the business was under residential limits 90 per cent of the time it wouldn't be an issue. They are in violation of the special use permit and they should conduct the business that was spelled out when applying for that permit. The 14-foot wall is only 14 feet in one area. It grades down. The Town should verify information. The arborvitaes are his, not Lantz's. When they brought in the new kiln, the noise issues started. Often when the Police Department was called, a decibel meter was not available.

In response to Ms. Pedro's question “Why did you tell us last time that the noise was mitigated?” Mr. Waring stated, “that is why I believe the noises are controlled. The noise from trucks and

trash had been removed, but have started again.”

In response to Ms. Pedro saying you stated that the kiln had been okay, Mr. Waring stated he still hears noise from the kiln. Mr. Waring said his family is starting to feel ill effects. We are going crazy from the smell of the wood, and the noise makes us jumpy all the time. We are getting aggravated with all these sharp noises.

Ms. Pedro said, “You testified before that there was no noise before the building.”

Mr. Waring stated that they had no problem with noise before the building. The wood business started escalating with the building at the time of the application to the Zoning Board. If the company stated to the Town that they will control their noise, they should stay true to that statement.

Mr. Buddemeyer stated that he had lived there for two years with his family and infant and there was the same noise then.

Mr. Waring said he also didn't have an issue when they moved there. These are mobile noises that can be controlled and the company should stay true to the statement made as far as the business special use permit. He asked:

- By allowing the additional noise, can that put the Town in a liability situation from both sources because it wasn't there before?
- By allowing the additional noise through commercial property to residential property, should the Town reduce property taxes or give an abatement?
- How can the Town allow noise in one ordinance and disallow the noise in another?

Mr. Aguiar stated that the Zoning Ordinance refers to noise but there are no separate decibel readings. It refers to the Noise Ordinance. It is a separate issue tonight.

Mr. Robicheau asked what the metal noises would be - Mr. Thayer responded that there is no way of knowing what was recorded on Mr. Waring's video or where it took place. He noted the abutters' letters of support.

Mr. Robicheau stated there are noise readings from the traffic but no reference to any readings taken at the abutters.

Mr. Thayer said that readings were taken starting at the road, working all the way back.

Mr. Robicheau asked about the height of the cement wall and if the kiln was included in the special use permit - Mr. Lantz stated that the Town Solicitor at that time, Vernon Gorton, and the Building Official, George Medeiros, told him that as long as the kiln was put inside the building, they did not need a permit.

President Hamilton asked if it would be possible to do some of the business closer to East Main Road - Mr. Lantz replied that it would be too dangerous for their customers if it was done in the front.

Mr. Robicheau asked how many log loads were done each day before the new building - Mr. Lantz said he didn't know.

President Hamilton asked what made the most noise in the process, the logs being dumped into the conveyor belt process trough, or logs being cut and split inside the building - Mr. Lantz said the loading of the trucks with cut wood.

Ms. Pedro asked what made the squealing noise - Mr. Lantz responded that it's baskets going on the floor getting loaded.

President Hamilton said that a statement from a previous meeting was that seven truckloads were done per day in their slow time.

Mr. Lantz said that they had already moved the loading dock as far away from the property line as they can.

Mr. Robicheau asked Mr. Gavin if it is a liability for the Town if we grant a variance with the knowledge that it is not an acceptable limit for a residential area - Mr. Gavin responded that he doesn't believe so. The Council is having the hearing to weigh the hardship of the petitioner tonight.

Tom Grieb, 110 Thayer Drive, stated that the decibel scale used is a logarithmic scale. 65 decibels are equal to 10 times 55 decibels, and 75 decibels are equal to 100 times 55 decibels. The Town of Portsmouth created this problem and should be a part of the solution. The noise can be engineered out of the business process. He feels that Bill's Sales should be offered a property tax rebate to cover the cost to meet the requirements.

Nancy Howard, 16 Dianne Avenue, stated that the noise ordinance special use permit states that “activities shall not change.” This would establish a precedent for other businesses and she believes the Town could be held liable.

Mr. Waring said that the Police had readings over 80. The Water Department is a brick building. The one resident is on the other side of the Water Department. Area businesses are Rays and a Package Store. The company asked for 68 and now they have changed it to 75.

Joanne Slate, 275 Sea Meadow Lane, said she used to live on East Main Road. If you deny this, the stress put on the Lantz family will put us on track to keep more businesses from moving into town.

Laura Subodo, 28 Bracket Ave, Tiverton, manager of Bill’s, said a lawn mower would drown out their noise.

Mr. Waring said that the noise is too close to his property line whereas the noise from East Main Road is one and a half football fields away.

A motion by Ms. Pedro, seconded by Mr. Seveney, to close the Public Hearing. All voted in favor of the motion.

Mr. Robicheau stated that the Town created this problem and the Town needs to fix this problem. The Town needs to hire a sound engineer.

Mr. Aguiar suggested two conditions be added if we go forward:

1. Hours of operation: Monday through Friday 7 am to 6 pm and Saturdays 8 am to 4 pm  
There will be no processing of wood on Sundays or on Federal Holidays – New Year’s Day, Martin Luther King, Washington’s Birthday (Presidents’ Day), Memorial Day, Independence Day, Labor Day, Columbus Day, Veterans’ Day, Thanksgiving Day and Christmas Day.
2. The property owner or business owner would be responsible to maintain all sound mitigation measures which are currently installed, the block wall, sound screen, any vegetation, fences, and anything that has been installed to mitigate sound. Those mitigation measures should be maintained for the duration of the business. As long as

there is a wood processing operation going on, these mitigation measures need to be in place and maintained.

President Hamilton stated, as Mr. Waring said, the arborvitae are his, and to clarify this as any vegetation put in by Bill's Sales.

President Hamilton suggested that the hours be changed to start at 9 am. Trucks to load from 9 am to 5 pm Monday through Friday and 9 am to 4 pm on Saturdays.

Mr. Seveney asked if this would harm the business - Mr. Lantz stated that he cannot live with those hours and they actually start at 7:30 am, so 9 am would be too late.

Mr. Seveney said people residing on East or West Main Road are currently living with the average noise level of 75 decibels. So he will support allowing the level at 75 decibels.

Mr. Gleason stated that we have an ordinance and we need to start standing behind it. People should be calling the Police Department. The options for Mr. Lantz are to get a variance, reduce the noise level, move to a new location, sell out, or go out of business. The options for the neighbor are to sell and move or put in his own sound control methods. The special use permit was obtained but not adhered to. There is a certain precedence that we are setting for other businesses in town. The EPA recommended that the sound level be 55 decibels. We are already at 65. Mr. Gleason suggested a compromise to 70 decibels instead of 75 and reduced hours. Make the hours of operation a nine-hour day instead of an 11-hour day to begin at 8:30 am Monday through Friday and leave the hours the same on Saturday.

Mr. Robicheau suggested the Town do an RFP for a sound engineering firm.

President Hamilton believes a 200-foot buffer needs to be put in place for any commercial / residential venture and this issue needs to be addressed in the new Comprehensive Plan.

Mr. Aguiar said that reviewing hardships is what a variance hearing is for. There has been a pre-existing use there for over 40 years and it could have been louder before as this is wood processing. Mr. Lantz has gone the extra mile to reduce his noise. The process is the process. The man is cutting wood. Residential properties were created after the business was there. We need to find a compromise here. He has a sound engineer stating that it is at 73 along East Main Road. He's asking to go to 75 which is a commercial standard with normal business hours. Any

changes would impact business negatively and he supports the variance.

Ms. Pedro wants a compromise. We can't correct mistakes of the past. It's the same business, it just grew and is processing more wood. She asked if the dropping of wood into the truck can be mitigated in some way. Variance decisions need to be done on a case by case basis. We need to adjust the hours to at least give the neighbor weekends. And 70 db wouldn't be a bad idea either.

President Hamilton offered Monday through Friday 8 am to 5 pm and Saturday 9 am to 4 pm.

Sound Engineer Joseph Fattore of VIBRA Sciences, Inc., Branford CT stated that the wall is adequately high. Mr. Lantz did a very good job. He would need to look at the end of the wall and the property line. He hasn't taken readings on Mr. Waring's property. Density stops noise.

Mr. Gleason asked if 70 decibels is an achievable goal. He suggested rubber linings in trucks - Mr. Fattore said that has not been overly successful.

A motion by Mr. Seveney, seconded by Mr. Buddemeyer, that we allow 75 decibel limit during the daily business hours of 8 am to 5 pm, Monday through Friday, and 9 am to 4 pm on Saturday and revisit how it is going in one year just for the first year with no application fee. The business owner is to maintain all sound mitigation measures for the lifetime of the business.

A motion to amend by Ms. Pedro, seconded by Mr. Gleason, to not include the ten federal holidays for wood processing operating hours. The motion to amend carried 6 to 1 with Mr. Robicheau opposed.

A motion to amend by Mr. Gleason, seconded by Ms. Pedro, to set the limit to 70 decibels. The motion failed 4 to 3 with Mr. Hamilton, Mr. Seveney, Mr. Aguiar and Mr. Buddemeyer opposed.

The main motion as amended carried 6 to 1 with Mr. Robicheau opposed.

**FUTURE MEETINGS**

October 11 7:00 PM – Town Council Meeting (Tuesday)  
October 24 7:00 PM – Town Council Meeting  
November 3 Proposed Date: Matrix Tank Farm Study Presentation – Brief Council  
November 14 7:00 PM – Town Council Meeting

A motion by Mr. Seveney, seconded by Ms. Pedro, to adjourn. All voted in favor of the motion.

**ADJOURN**

Time: 10:10 PM

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Joanne M. Mower, Town Clerk

PORTSMOUTH TOWN COUNCIL MEETING  
OCTOBER 11, 2016 (Tuesday)

7:00 PM – TOWN COUNCIL CHAMBERS, TOWN HALL, 2200 EAST MAIN ROAD

MEMBERS PRESENT: Keith E. Hamilton, James A. Seveney, Kevin M. Aguiar,  
David M. Gleason, Elizabeth A. Pedro and  
Joseph W. Robicheau  
Members Absent: Michael A. Buddemeyer

**PLEDGE OF ALLEGIANCE**

A moment of silence for our men and women around the world in harm's way.

**SITTING AS THE PORTSMOUTH TOWN COUNCIL**

**PRESENTATIONS/RECOGNITIONS**

1. United States Invasion of Panama (Operation Just Cause) War Era Veterans Appreciation Week Proclamation

President Hamilton read the Proclamation to the public and announced that the Town Council meeting of November 14<sup>th</sup> will begin at 6 pm to honor the Veterans of Operation Just Cause.

**MINUTES**

TCM 9/26/16

Mr. Gleason noted the in the Town Administrator's Report on the DPW Snow Plow Rodeo the participants' last names were omitted and requested they be added.

A motion by Mr. Gleason, seconded by Ms. Pedro, to approve with correction, the minutes of TCM 9/26/16. All voted in favor of the motion.

**BILLS**

A motion by Mr. Seveney, seconded by Ms. Pedro, to pay all just and due bills in the amount of \$378,958.75. All voted in favor of the motion.

**TAX VOUCHERS** - None

## **TOWN ADMINISTRATOR'S REPORT**

1. Dog Park Update – Construction was completed last week. A few minor issues will be fixed. Melville Campground will help maintain the Dog Park property next spring.
2. Status of IT Transition – An agreement, in principle, has been made with the School Department on the transfer of help desk issues, network server maintenance, hardware and software issues, Phase I planned maintenance, replacement of IT materials, as well as liaison with IT vendors for the offices at the Town Hall. JKS Technologies, our current contractor will continue to provide the public safety departments, as well as DPW, assistance with help desk issues as well as maintenance, security, and phase II replacement of IT materials. This transition should be completed by March 2017.
3. Report Out On Permitting Process – An update and review was conducted on streamlining the licensing and permitting processes. Another review will be conducted in December. One form is being developed to handle all permits and requests for the convenience of the public. Plans are for this to become an electronic document and assist in making the town hall paperless.
4. Report Out On Quarterly Naval Station Meeting – A community leadership meeting was held and a presentation was given by Woodard and Curran on the Burma Road implementation study. The next meeting will be held on 12/8/2016.
5. Recycling Coordinator Update – We have received the resignation of Sanne Kure-Jensen. Ray Antaya will temporarily be taking over the position.
6. Honor Roll Update – The Honor Roll Committee is moving forward with the new digital display and the current plaques will be on display somewhere in the Town Hall.

## **RESIGNATIONS AND APPOINTMENTS**

### 1. Appointments:

- a. Economic Development Committee (Re-Appt.) – C. Clarke

A motion by Mr. Seveney, seconded by Mr. Robicheau, to re-appoint Charles Clarke. All voted in favor of the motion.

- b. Tree Commission (Re-Appt.) – H. Schlesinger

A motion by Mr. Seveney, seconded by Mr. Robicheau, to re-appoint Howard Schlesinger. All voted in favor of the motion.

**OLD BUSINESS**

OB 1 - Discussion/Action – Source Water Protection Initiative for Newport’s Drinking Water Reservoirs. / J. Robicheau (FR: 9/26/16)

Mr. Robicheau questioned why DEM needed to do more to protect our water system after they had just recently completed a very expensive upgrade. He inquired if any of the Town staff would be attending the meeting on October 12, 2016 as he wanted the Town Council to be kept informed on the status of the reservoirs. Mr. Rainer and Mr. Crosby will be in attendance, and possibly, Mr. Hamilton.

No action was taken.

OB 2 - Request Acceptance of Mare Terrace Extension and Release of Road Bond. / L. Lesinski

A motion by Mr. Seveney, seconded by Mr. Robicheau, to accept Mare Terrace Extension and to release the road bond. All voted in favor of the motion.

OB 3 - Discussion/Action – Transfer Station Update. / R. Rainer

Mr. Rainer met with J. R. Vinagro to discuss the safety issues associated with the current walk-in containers, especially the construction and demolition bins. Vinagro proposes splitting the cost of new bins with the Town. Mr. Lathrop suggested the Town’s portion of \$7,450.00 could come from the Transfer Station fund balance. Mr. Hamilton questioned whether RIRRC would approve the use of recycling funds to cover this cost.

Ms. Judi Staven, 51 Long Meadow, suggested that the cost of the new bins be taken out of the Transfer Station Enterprise Fund. She said the audit, as of 6/30/16, showed a surplus of \$102,000.00 in the Fund. She recommended that the cost for the traffic study, conducted by BETA, Inc., of approximately \$1,000.00, should also be taken out of the fund balance.

Sanne Kure-Jensen, Recycling Coordinator, stated that the current drawings were not representative of the final design as they were still working on traffic flow issues.

A motion by Mr. Robicheau, seconded by Mr. Gleason, to fund the cost of the new C&D bins at \$7,450.00 from the Transfer Station Enterprise Fund.

A motion to amend by Mr. Robicheau, seconded by Mr. Gleason, to fund the purchase of the new bins and the traffic study for a total of \$8,500.00 from the Transfer Station Enterprise Fund fund balance. All voted in favor of the motion.

OB 4- Finance Update. / J. Lathrop

Mr. Lathrop reported that in the first three months the Town is in good shape financially. Tax collection is at the highest rate ever. He hopes the Audit will be completed by the second week of December and is hoping for a surplus of \$200,000.

Mr. Hamilton questioned how overtime expenditures look for the Police and Fire Departments.

Mr. Lathrop stated they were not too bad due to more staff in each department. Mr. Lathrop stated he would now be providing a financial update to the Council on a monthly basis.

### **NEW BUSINESS**

NB 1 - Discussion/Action - COPS Grant Announcement. / R. Rainer, J. Lathrop, T. Lee & A. Riley

Mr. Rainer announced that Portsmouth has been awarded a grant by the Office of Community Oriented Policing Services (COPS) for 2 officer positions under the 2016 COPS Hiring Program. The estimated amount of federal funds to be awarded over a three-year period is \$250,000. The Town will have to match funds of \$296,900. This would cover the current Student Resource Officer (SRO) at the High School and an additional SRO at the Middle School. Mr. Rainer congratulated Chief Lee and the Police Department on their hard work to secure the COPS grant.

Mr. Lathrop stated the net cost to the Town would be \$56,000.00 over four years, which would only amount to \$14,000.00 per year. The SRO's would be able to alleviate overtime costs in the summer months as they could fill in for officers on vacation and sick leave.

Chief Lee stated that Portsmouth was very fortunate to receive this grant as we have applied for many years and this is the first time we have been awarded one. He believes the reason Portsmouth was awarded the COPS grant this year was because 2 officers were requested. Only so many municipalities across the country receive funding. He indicated the positive advantages, such as security and education, with having an SRO at the Middle School.

Superintendent of Schools, Anna Riley, reiterated the advantages of having two SRO's. The education, security and safety they provide.

Ray Davis, of the Portsmouth Prevention Coalition, indicated that the positive relationship a SRO has with students is the best deterrent for drug prevention.

Mr. Lathrop stated the Town was under no obligation to keep the second SRO position after the initial four-year term. Chief Lee confirmed that only one SRO position was part of the union contract.

Ms. Pedro stated that we would actually be increasing the budget by hiring an additional SRO for the Middle School. That grant is only for a four-year period so in the fifth year the Town would have to absorb the full cost. Mr. Robicheau questioned whether a new Town Council would understand that the second SRO was not a permanent position.

Mr. Seveney stated this was a great opportunity for the Town and thanked Chief Lee and Superintendent Riley for their hard work.

A motion by Mr. Seveney, seconded by Mr. Aguiar, to approve the proposal for the grant and to thank Chief Lee and Superintendent Riley for their hard work.

Mr. Aguiar questioned whether the Town would be able to reapply for an additional grant at the end of the third year to secure future funding of the second SRO. Chief Lee saw no reason they could not apply for another grant at a future date.

Mr. Robicheau wants to ensure a safeguard that the second SRO would be a temporary position.

Mr. Lathrop stated a line item could be created in the budget for a grant funded position with an expiration date. The current SRO is already in the budget and would have no impact until year four.

Ms. Pedro stated that transparency was needed and taxpayers would eventually end up paying for the additional position as the School is just going to ask us for the \$40,000 they will be paying.

Mr. Gleason inquired if the grant dollars could be used for another purpose. Warwick received a grant for a Community Policing Officer.

Judi Staven, 51 Long Meadow, questioned why the grant was applied for without first obtaining Council Approval. Chief Lee stated he was directed by Council to look into grant dollars when they originally requested an SRO. He stated the Police Department applied for several grants.

A motion by Mr. Seveney, seconded by Mr. Aguiar to approve acceptance of the grant for a SRO at the Middle School and to make sure there is a line item in the budget identifying the position as grant funded with an expiration date of 10/3/2020. Also an updated Memorandum of Understanding needs to be executed with the School Department. All voted in favor of the motion.

Mr. Robicheau requested a survey on the children be conducted in order to assess the program annually. Chief Lee agreed and stated it was part of the grant process.

### **CORRESPONDENCE**

1. Invitation to the Newport County Branch of the National Association for the Advancement of Colored People (NAACP) 96<sup>th</sup> Annual Awards Dinner, October 30, 2016. / M. Shavers, Committee Chair
2. Request a Resolution in Support of Opposing the Clear River Energy Center in Burrillville, RI. / L. Phaneuf, Town Clerk
3. Request Resolution in Support of the Goals of the Rhode Island Energy Challenge. / M. DeSisto, Barrington Town Clerk
4. Newport and Bristol County Convention and Visitor's Bureau, d/b/a Discover Newport, Independent Auditors' Report March 31, 2016 & 2015. / A. Adkins, Director of Finance and Human Resources

A motion by Mr. Robicheau, seconded by Ms. Pedro, to receive all correspondence and place on file. All voted in favor of the motion.

### **FUTURE MEETINGS**

October 24 7:00 PM – Town Council Meeting  
November 3 7:00 PM – Matrix Tank Farm Study Presentation – Brief Council  
November 14 6:00 PM – Town Council Meeting  
November 28 7:00 PM – Town Council Meeting

A motion by Ms. Pedro, seconded by Mr. Robicheau, to adjourn. All voted in favor of the motion.

### **ADJOURN**

Time: 8:19 pm

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Joanne M. Mower, Town Clerk

PORTSMOUTH TOWN COUNCIL MEETING

October 13, 2016 (Thursday)

7:00 PM –Portsmouth Room, Second Floor, TOWN HALL, 2200 EAST MAIN ROAD

MEMBERS PRESENT: Keith E. Hamilton, James A. Seveney, Kevin M. Aguiar,  
Michael A. Buddemeyer David M. Gleason, Elizabeth A. Pedro and Joseph W. Robicheau

**SITTING AS THE PORTSMOUTH TOWN COUNCIL**

**EXECUTIVE SESSION**

1. RIGL 42-46-5(a)(2) – Litigation: Rhode Island Nurseries

A motion by Mr. Seveney, seconded by Mr. Buddemeyer, to go into Executive Session under RIGL 42-46-5(a)(2) – Litigation: Rhode Island Nurseries. All voted in favor of the motion.

TIME: 7:02 PM – Break

TIME: 7:53 PM – Return to Open Session

President Hamilton announced that the Council had agreed to settlement terms to be released by the end of business tomorrow through Retired Chief Justice Frank Williams' office.

**FUTURE MEETINGS**

October 24 7:00 PM – Town Council Meeting

November 3 7:00 PM - Matrix Tank Farm Study Presentation – to brief Council

November 14 7:00 PM – Town Council Meeting

A motion by Mr. Seveney, seconded by Mr. Robicheau, to adjourn. All voted in favor of the motion.

**ADJOURN**

Time: 7:56: PM

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Joanne M. Mower, Town Clerk

Bill List Expenditures  
Town of Portsmouth 2016-2017

Vendor	Account Number	Date	Description	Amount
<b>Line Item 10001 Town Council</b>				
THE NEWPORT DAILY NEWS	1-01-326-10001-00 *	10/25/2016	GF\Advertising\Town Council\-	\$141.60
THE NEWPORT DAILY NEWS	1-01-326-10001-00 *	10/25/2016	GF\Advertising\Town Council\-	\$549.68
THE NEWPORT DAILY NEWS	1-01-326-10001-00 *	10/25/2016	GF\Advertising\Town Council\-	\$183.23
			Sub Total:	\$874.51
<b>Line Item 10002 Town Admin</b>				
BETA GROUP INC	1-01-305-10002-00 *	10/25/2016	GF\Prof/Contact Serv\Town Admin\	\$1,225.00
			Sub Total:	\$1,225.00
<b>Line Item 10003 Town Clerk</b>				
KONICA MINOLTA BUSINESS	1-01-344-10003-00 *	10/25/2016	GF\Copier Repair\Maint\Town Clerk	\$486.41
STAPLES BUSINESS ADVANTAGE	1-01-324-10003-00 *	10/25/2016	GF\Printing\Town Clerk\-	\$246.00
THE NEWPORT DAILY NEWS	1-01-415-10003-00 *	10/25/2016	GF\Probate Advertising\Town Clerk	\$552.00
WB MASON CO INC	1-01-330-10003-00	10/25/2016	GF\Office Supply & Eq\Town Clerk\	\$35.79
WB MASON CO INC	1-01-330-10003-00	10/25/2016	GF\Office Supply & Eq\Town Clerk\	\$18.30
WB MASON CO INC	1-01-330-10003-00	10/25/2016	GF\Office Supply & Eq\Town Clerk\	\$24.42
WB MASON CO INC	1-01-330-10003-00	10/25/2016	GF\Office Supply & Eq\Town Clerk\	\$9.16
XEROX BUSINESS SERVICES LLC	1-01-413-10003-00	10/25/2016	GF\Land Evid Doc Processing\Tow	\$2,120.55
			Sub Total:	\$3,492.63
<b>Line Item 10004 Canvassing</b>				
KENNEDY PERSONNEL SERVICES	1-01-306-10004-00	10/25/2016	GF\Temp Assistance\Canvassing\-	\$145.60
KENNEDY PERSONNEL SERVICES	1-01-306-10004-00	10/25/2016	GF\Temp Assistance\Canvassing\-	\$291.20
SHREDFAST LLC	1-01-330-10004-00	10/25/2016	GF\Office Supply & Eq\Canvassing\	\$275.00
THE NEWPORT DAILY NEWS	1-01-326-10004-00	10/25/2016	GF\Advertising\Canvassing\-	\$212.40
WB MASON CO INC	1-01-324-10004-00	10/25/2016	GF\Printing\Canvassing\-	\$396.56
WB MASON CO INC	1-01-330-10004-00	10/25/2016	GF\Office Supply & Eq\Canvassing\	\$10.12
WB MASON CO INC	1-01-330-10004-00	10/25/2016	GF\Office Supply & Eq\Canvassing\	\$73.74
			Sub Total:	\$1,404.62
<b>Line Item 10005 Legal</b>				
URSILLO, TEITZ & RITCH, LTD.	1-01-303-10005-00 *	10/25/2016	GF\Labor Arb & Negotiation\Legal\-	\$795.50
			Sub Total:	\$795.50

Bill List Expenditures  
Town of Portsmouth 2016-2017

Vendor	Account Number	Date	Description	Amount
<b>Line Item 10008 Boards &amp; Comm</b>				
EXCEEDA CONSULTING INC.	1-01-452-10008-00 *	10/25/2016	GF\Eco Dev Commission\Boards & Professional service-Municipality Lean Initiative.	\$2,500.00
ROGER WILLIAMS UNIVERSITY	1-01-452-10008-00 *	10/25/2016	GF\Eco Dev Commission\Boards & Workshop - Transforming Customer Service to engagement (Sept 19, 2016)	\$500.00
			Sub Total:	\$3,000.00
<b>Line Item 20001 Finance/Personnel</b>				
FALL RIVER MODERN PRINTING C	1-01-330-20001-00	10/25/2016	GF\Office Supply & Eq\Finance/Per FINANCE: OFFICE SUPPLIES	\$174.30
THE NEWPORT DAILY NEWS	1-01-326-20001-00	10/25/2016	GF\Advertising\Finance/Personnel- EMPLOYMENT: ASST HARBOR & WWDM	\$940.00
			Sub Total:	\$1,114.30
<b>Line Item 20002 Tax</b>				
MUNICIPAL COLLECTIONS, INC	1-01-313-20002-00 *	10/25/2016	GF\Tax Collection Serv\Tax\ Total Due to MCA for September 2016	\$488.53
WB MASON CO INC	1-01-330-20002-00	10/25/2016	GF\Office Supply & Eq\Tax\ Wall Calendar Refill	\$19.58
WB MASON CO INC	1-01-330-20002-00	10/25/2016	GF\Office Supply & Eq\Tax\ Powershred Shredder Waste Bags	\$16.70
WB MASON CO INC	1-01-330-20002-00	10/25/2016	GF\Office Supply & Eq\Tax\ TN880 Super High-Yield Toner, Black	\$149.99
WB MASON CO INC	1-01-330-20002-00	10/25/2016	GF\Office Supply & Eq\Tax\ 55X 2-pack High Yield Black Original LaserJet Toner	\$350.95
			Sub Total:	\$1,025.75
<b>Line Item 20003 IT</b>				
CORE BUSINESS TECHNOLOGIES	1-01-337-20003-00	10/25/2016	GF\IT Equipment\IT\ Multi-function printer-Savin MP C2004SPF	\$4,216.00
			Sub Total:	\$4,216.00

Bill List Expenditures  
Town of Portsmouth 2016-2017

Vendor	Account Number	Date	Description	Amount
<b>Line Item 31003 Fire</b>				
CARLONE'S FLORIST	1-01-330-31003-00	10/25/2016	GF\Office Supply & Eq\Fire\-	\$70.00
CHARLESTOWN AMBULANCE-RES	1-01-352-31003-00	10/25/2016	GF\Professional Dev\Fire\-	\$2,235.00
CHARLESTOWN FIRE DISTRICT	1-01-352-31003-00	10/25/2016	GF\Professional Dev\Fire\-	\$85.00
CLINICAL ONE HOME MEDICAL	1-01-334-31003-00	10/25/2016	GF\Med Supply & Eq\Fire\-	\$496.45
CLINICAL ONE HOME MEDICAL	1-01-334-31003-00	10/25/2016	GF\Med Supply & Eq\Fire\-	\$378.17
CLINICAL ONE HOME MEDICAL	1-01-334-31003-00	10/25/2016	GF\Med Supply & Eq\Fire\-	\$23.50
COASTAL ELECTRIC INC.	1-01-345-31003-00	10/25/2016	GF\Bldgs/Grounds Repair\Maint\Fir	\$150.00
COASTAL ELECTRIC INC.	1-01-345-31003-00	10/25/2016	GF\Bldgs/Grounds Repair\Maint\Fir	\$150.00
DePAUL DIESEL SERVICE, INC.	1-01-340-31003-00	10/25/2016	GF\Vehicle Repair\Maint\Fire\-	\$408.07
DePAUL DIESEL SERVICE, INC.	1-01-340-31003-00	10/25/2016	GF\Vehicle Repair\Maint\Fire\-	\$253.06
DePAUL DIESEL SERVICE, INC.	1-01-340-31003-00	10/25/2016	GF\Vehicle Repair\Maint\Fire\-	\$281.29
DePAUL DIESEL SERVICE, INC.	1-01-340-31003-00	10/25/2016	GF\Vehicle Repair\Maint\Fire\-	\$2,181.57
DePAUL DIESEL SERVICE, INC.	1-01-340-31003-00	10/25/2016	GF\Vehicle Repair\Maint\Fire\-	\$1,004.88
DOMINA'S AGWAY	1-01-345-31003-00	10/25/2016	GF\Bldgs/Grounds Repair\Maint\Fir	\$22.58
DORMA USA, INC	1-01-345-31003-00	10/25/2016	GF\Bldgs/Grounds Repair\Maint\Fir	\$187.27
FIREMATIC SUPPLY CO. INC.	1-01-362-31003-00 *	10/25/2016	GF\Uniform Other\Fire\-	\$1,298.00
MIKE & WAYNE'S, INC.	1-01-362-31003-00 *	10/25/2016	GF\Uniform Other\Fire\-	\$246.60
NAPA AUTO PARTS	1-01-340-31003-00	10/25/2016	GF\Vehicle Repair\Maint\Fire\-	\$30.69
PHIL'S PROPANE	1-01-345-31003-00	10/25/2016	GF\Bldgs/Grounds Repair\Maint\Fir	\$12.59
PHIL'S PROPANE	1-01-345-31003-00	10/25/2016	GF\Bldgs/Grounds Repair\Maint\Fir	\$59.96
PORTSMOUTH ACE HARDWARE	1-01-345-31003-00	10/25/2016	GF\Bldgs/Grounds Repair\Maint\Fir	\$29.72
PORTSMOUTH ACE HARDWARE	1-01-345-31003-00	10/25/2016	GF\Bldgs/Grounds Repair\Maint\Fir	\$3.01
PORTSMOUTH ACE HARDWARE	1-01-345-31003-00	10/25/2016	GF\Bldgs/Grounds Repair\Maint\Fir	\$1.99
PROVIDENCE COLLEGE	1-01-352-31003-00	10/25/2016	GF\Professional Dev\Fire\-	\$999.00
SOUTHCOAST HOSPITALS GROUP	1-01-334-31003-00	10/25/2016	GF\Med Supply & Eq\Fire\-	\$32.90
STAPLES CREDIT PLAN	1-01-330-31003-00	10/25/2016	GF\Office Supply & Eq\Fire\-	\$129.99
STAPLES CREDIT PLAN	1-01-330-31003-00	10/25/2016	GF\Office Supply & Eq\Fire\-	\$81.69
STAPLES CREDIT PLAN	1-01-330-31003-00	10/25/2016	GF\Office Supply & Eq\Fire\-	\$167.27
STEWART SAINT ANNE'S HOSPIT	1-01-334-31003-00	10/25/2016	GF\Med Supply & Eq\Fire\-	\$1.57
THE DAWSON GROUP	1-01-316-31003-00	10/25/2016	GF\Ambulance Billing\Fire\-	\$4,337.07
TJ RUSSELL CO., INC.	1-01-345-31003-00	10/25/2016	GF\Bldgs/Grounds Repair\Maint\Fir	\$85.90
TJ RUSSELL CO., INC.	1-01-345-31003-00	10/25/2016	GF\Bldgs/Grounds Repair\Maint\Fir	\$52.00
UNIFIRST CORPORATION	1-01-345-31003-00	10/25/2016	GF\Bldgs/Grounds Repair\Maint\Fir	\$152.60
UNIFIRST CORPORATION	1-01-345-31003-00	10/25/2016	GF\Bldgs/Grounds Repair\Maint\Fir	\$57.60
Sub Total:				\$15,706.99

Bill List Expenditures  
Town of Portsmouth 2016-2017

Vendor	Account Number		Date	Description	Amount
<b>Line Item 33001 DPW</b>					
401 MOTORING INC	1-01-342-33001-00	GF\Equip Repair\Maint\DPW\	10/25/2016	Installation of remote starter with keyless entry - Chevy 2500HD	\$289.00
401 MOTORING INC	1-01-342-33001-00	GF\Equip Repair\Maint\DPW\	10/25/2016	Amp Research Side Bed Step Bedstep 2	\$508.00
401 MOTORING INC	1-01-342-33001-00	GF\Equip Repair\Maint\DPW\	10/25/2016	Labor/Installation	\$95.00
AMERICAN PUBLIC WORKS ASSO	1-01-352-33001-00 *	GF\Professional Dev\DPW\	10/25/2016	New England Chapter Dues (25% of total)	\$46.00
AMERICAN PUBLIC WORKS ASSO	1-01-352-33001-00 *	GF\Professional Dev\DPW\	10/25/2016	Individual Membership (1 member)	\$184.00
AMERICAN PUBLIC WORKS ASSO	1-01-352-33001-00 *	GF\Professional Dev\DPW\	10/25/2016	New England Chapter dues (25% of total)	\$46.00
AMERICAN PUBLIC WORKS ASSO	1-01-352-33001-00 *	GF\Professional Dev\DPW\	10/25/2016	Individual membership (1 member)	\$184.00
COASTAL ELECTRIC INC.	1-01-371-33001-00	GF\Street Lights\DPW\	10/25/2016	150 Watt Sodium Lamp for Island Park	\$96.00
COASTAL ELECTRIC INC.	1-01-371-33001-00	GF\Street Lights\DPW\	10/25/2016	Bucket Truck Island Park	\$56.00
COASTAL ELECTRIC INC.	1-01-371-33001-00	GF\Street Lights\DPW\	10/25/2016	Labor Island Park	\$234.00
CORE BUSINESS TECHNOLOGIES	1-01-330-33001-00	GF\Office Supply & Eq\DPW\	10/25/2016	Quarterly all inclusive service, beginning 42248, ending 44470	\$123.44
CYBER COMM INC.	1-01-343-33001-00	GF\Radio Repair\Maint\DPW\	10/25/2016	XPR 2500 136-174 45W 128CH AD Package	\$629.00
CYBER COMM INC.	1-01-343-33001-00	GF\Radio Repair\Maint\DPW\	10/25/2016	Ignition Switch Cable	\$19.50
CYBER COMM INC.	1-01-343-33001-00	GF\Radio Repair\Maint\DPW\	10/25/2016	NMO wide band 1/4 wave	\$39.00
CYBER COMM INC.	1-01-343-33001-00	GF\Radio Repair\Maint\DPW\	10/25/2016	Mini Connector	\$2.00
CYBER COMM INC.	1-01-343-33001-00	GF\Radio Repair\Maint\DPW\	10/25/2016	Antenna Mount/Cable Kit	\$19.50
CYBER COMM INC.	1-01-343-33001-00	GF\Radio Repair\Maint\DPW\	10/25/2016	Installation	\$215.00
D & D FENCE CO., INC.	1-01-345-33001-11	GF\Bldgs/Grounds Repair\Maint\DP	10/25/2016	10 foot NWC Rails	\$945.00
D & D FENCE CO., INC.	1-01-345-33001-11	GF\Bldgs/Grounds Repair\Maint\DP	10/25/2016	2 Rail NWC Posts (22) C (22) E	\$715.00
DEPT. OF LABOR & TRAINING (R.I.	1-01-352-33001-00 *	GF\Professional Dev\DPW\	10/25/2016	License Type 204 for Robert Loughlin	\$60.00
DEPT. OF LABOR & TRAINING (R.I.	1-01-352-33001-00 *	GF\Professional Dev\DPW\	10/25/2016	License Type 102 for Robert Loughlin	\$60.00
DEPT. OF LABOR & TRAINING (R.I.	1-01-352-33001-00 *	GF\Professional Dev\DPW\	10/25/2016	License Type 204 for Scott Smith	\$60.00
DEPT. OF LABOR & TRAINING (R.I.	1-01-352-33001-00 *	GF\Professional Dev\DPW\	10/25/2016	License Type 102 for Scott Smith	\$60.00
DONOVAN & SONS INC.	1-01-345-33001-11	GF\Bldgs/Grounds Repair\Maint\DP	10/25/2016	Material - Repair of Boilers - Town Hall	\$2,184.31
DONOVAN & SONS INC.	1-01-345-33001-11	GF\Bldgs/Grounds Repair\Maint\DP	10/25/2016	Labor - 2 Plumbers for 8 hours @ \$69.00/hr	\$552.00
GRAINGER INC	1-01-335-33001-00	GF\Prof Equipment\DPW\	10/25/2016	Item #3AT34 D1575 Leather Gloves, Safety Cuff, Blue/Tan	\$108.36
GRAINGER INC	1-01-335-33001-00	GF\Prof Equipment\DPW\	10/25/2016	Item #11K777 High Visibility Vest, XL, Lime	\$49.90
GRAINGER INC	1-01-335-33001-00	GF\Prof Equipment\DPW\	10/25/2016	Item #11K778 High Visibility Vest, 2XL, Lime	\$49.90
KAHN TRACTOR & EQUIPMENT IN	1-01-342-33001-00	GF\Equip Repair\Maint\DPW\	10/25/2016	Freight	\$10.42
KAHN TRACTOR & EQUIPMENT IN	1-01-342-33001-00	GF\Equip Repair\Maint\DPW\	10/25/2016	Key	\$30.76
KAHN TRACTOR & EQUIPMENT IN	1-01-342-33001-00	GF\Equip Repair\Maint\DPW\	10/25/2016	Hose	\$11.44
KAHN TRACTOR & EQUIPMENT IN	1-01-342-33001-00	GF\Equip Repair\Maint\DPW\	10/25/2016	Hose	\$23.86
KAHN TRACTOR & EQUIPMENT IN	1-01-342-33001-00	GF\Equip Repair\Maint\DPW\	10/25/2016	Seal	\$15.52
MIKE'S OIL CO., INC.	1-01-345-33001-00	GF\Bldgs/Grounds Repair\Maint\DP	10/25/2016	Filters	\$10.00
MIKE'S OIL CO., INC.	1-01-345-33001-00	GF\Bldgs/Grounds Repair\Maint\DP	10/25/2016	Nozzle	\$5.00
MIKE'S OIL CO., INC.	1-01-345-33001-00	GF\Bldgs/Grounds Repair\Maint\DP	10/25/2016	Strainer	\$5.00
MIKE'S OIL CO., INC.	1-01-345-33001-00	GF\Bldgs/Grounds Repair\Maint\DP	10/25/2016	Labor	\$100.00
NAPA AUTO PARTS	1-01-342-33001-00	GF\Equip Repair\Maint\DPW\	10/25/2016	Various parts to maintain equipment and vehicles	\$506.31

**Bill List Expenditures**  
Town of Portsmouth 2016-2017

Vendor	Account Number		Date	Description	Amount
NAPA AUTO PARTS	1-01-342-33001-00	GF\Equip Repair\Maint\DPW\	10/25/2016	Various parts to maintain equipment and vehicles	\$143.90
NAPA AUTO PARTS	1-01-342-33001-00	GF\Equip Repair\Maint\DPW\	10/25/2016	Various parts to maintain equipment and vehicles	\$199.35
NAPA AUTO PARTS	1-01-342-33001-00	GF\Equip Repair\Maint\DPW\	10/25/2016	Various parts to maintain equipment and vehicles	(\$405.71)
NAPA AUTO PARTS	1-01-342-33001-00	GF\Equip Repair\Maint\DPW\	10/25/2016	Various parts to maintain equipment and vehicles	\$182.27
NARRAGANSETT ENGINEERING IN	1-01-345-33001-11	GF\Bldgs/Grounds Repair\Maint\DP	10/25/2016	Services - Comprehensive Boundary Survey, Limited Property Line Survey, Utility Research	\$3,817.50
NATIONAL BUSINESS FURNITURE	1-01-345-33001-11	GF\Bldgs/Grounds Repair\Maint\DP	10/25/2016	Training Table 60X24 Magoany Top/Black Legs	\$348.00
OLIVEIRA'S SERVICE STATION	1-01-340-33001-00	GF\Vehicle Repair\Maint\DPW\	10/25/2016	Vehicle Inspection	\$110.00
ONE STOP BUILDING SUPPLY	1-01-397-33001-00 *	GF\Road Maintenance\DPW\	10/25/2016	17 oz Safety RED Mark Paint	\$9.88
ONE STOP BUILDING SUPPLY	1-01-397-33001-00 *	GF\Road Maintenance\DPW\	10/25/2016	17 oz Fluor ORG Mark Paint	\$41.76
ONE STOP BUILDING SUPPLY	1-01-397-33001-00 *	GF\Road Maintenance\DPW\	10/25/2016	1X1X48 inch OAK Stake	\$267.50
PORTSMOUTH ACE HARDWARE	1-01-335-33001-00	GF\Prof Equipment\DPW\	10/25/2016	Item #2107472 Knife Utility Retract Quick	\$9.99
PORTSMOUTH ACE HARDWARE	1-01-335-33001-00	GF\Prof Equipment\DPW\	10/25/2016	Battery D 12 pk	\$13.99
PORTSMOUTH ACE HARDWARE	1-01-345-33001-11	GF\Bldgs/Grounds Repair\Maint\DP	10/25/2016	Item #2138741 Twist Nylon Line 270 Reel	\$8.99
PORTSMOUTH ACE HARDWARE	1-01-345-33001-11	GF\Bldgs/Grounds Repair\Maint\DP	10/25/2016	Clorox Cleanup Fresh 32 oz	\$3.99
PORTSMOUTH ACE HARDWARE	1-01-345-33001-11	GF\Bldgs/Grounds Repair\Maint\DP	10/25/2016	409 Kitchen Lemon 22 oz	\$2.99
PORTSMOUTH ACE HARDWARE	1-01-345-33001-11	GF\Bldgs/Grounds Repair\Maint\DP	10/25/2016	Glade Solid Air Freshner	\$1.59
PORTSMOUTH ACE HARDWARE	1-01-345-33001-11	GF\Bldgs/Grounds Repair\Maint\DP	10/25/2016	Toilet Cleaner w/Bleach 24 oz	\$2.99
PORTSMOUTH ACE HARDWARE	1-01-345-33001-11	GF\Bldgs/Grounds Repair\Maint\DP	10/25/2016	2000 Flushes Cleaner 2 pk	\$3.99
PORTSMOUTH ACE HARDWARE	1-01-345-33001-11	GF\Bldgs/Grounds Repair\Maint\DP	10/25/2016	Cleaner Pine Sol 48 oz	\$3.99
REAGAN CONSTRUCTION CORP.	1-01-345-33001-11	GF\Bldgs/Grounds Repair\Maint\DP	10/25/2016	DPW: PI SAND POINT PIER	\$14,860.00
RIVERHEAD BUILDING SUPPLY CO	1-01-397-33001-00 *	GF\Road Maintenance\DPW\	10/25/2016	Portland Cement Type I Light	\$155.90
SEEKONK SUPPLY, INC.	1-01-397-33001-00 *	GF\Road Maintenance\DPW\	10/25/2016	Plumbing Supplies	\$417.92
SOUTHWORTH-MILTON, INC.	1-01-342-33001-00	GF\Equip Repair\Maint\DPW\	10/25/2016	Item 9R5555 Pad A	\$481.64
SOUTHWORTH-MILTON, INC.	1-01-342-33001-00	GF\Equip Repair\Maint\DPW\	10/25/2016	Item #3S1546 Nut	\$5.20
SOUTHWORTH-MILTON, INC.	1-01-342-33001-00	GF\Equip Repair\Maint\DPW\	10/25/2016	Item #1U3202 Tip	\$76.76
SOUTHWORTH-MILTON, INC.	1-01-342-33001-00	GF\Equip Repair\Maint\DPW\	10/25/2016	Item #8E6208 Pin-Get	\$7.44
SOUTHWORTH-MILTON, INC.	1-01-342-33001-00	GF\Equip Repair\Maint\DPW\	10/25/2016	Item #8E6209 Retainer A	\$4.06
SOUTHWORTH-MILTON, INC.	1-01-342-33001-00	GF\Equip Repair\Maint\DPW\	10/25/2016	Freight	\$55.00
SULLIVAN TIRE COMPANIES	1-01-342-33001-00	GF\Equip Repair\Maint\DPW\	10/25/2016	ALOIM Lifet Inspection	\$190.00
SULLIVAN TIRE COMPANIES	1-01-342-33001-00	GF\Equip Repair\Maint\DPW\	10/25/2016	Aliom Lift Inspection/Rolling	\$95.00
SULLIVAN TIRE COMPANIES	1-01-342-33001-00	GF\Equip Repair\Maint\DPW\	10/25/2016	15K Capacity Label	\$11.40
SULLIVAN TIRE COMPANIES	1-01-342-33001-00	GF\Equip Repair\Maint\DPW\	10/25/2016	Hourly Service	\$164.93
SULLIVAN TIRE COMPANIES	1-01-342-33001-00	GF\Equip Repair\Maint\DPW\	10/25/2016	Vehicle/Fuel Surcharge	\$40.00
SULLIVAN TIRE COMPANIES	1-01-342-33001-00	GF\Equip Repair\Maint\DPW\	10/25/2016	Shop Supplies	\$8.19
THYSSEN KRUPP ELEVATOR, INC.	1-01-345-33001-11	GF\Bldgs/Grounds Repair\Maint\DP	10/25/2016	TOWN HALL: ELEVATOR 10/1-12/31	\$661.70
TJ RUSSELL CO., INC.	1-01-335-33001-00	GF\Prof Equipment\DPW\	10/25/2016	Rag-Reclaimed WhiteTshirt	\$94.00
TNT CLEANING SERVICES, INC.	1-01-311-33001-00	GF\Janitorial/Custodial Serv\DPW\	10/25/2016	TOWN HALL: JANITORIAL	\$1,733.33
TOM'S LAWN & GARDEN EQUIP	1-01-342-33001-00	GF\Equip Repair\Maint\DPW\	10/25/2016	Part No. ECH314105055 .105 Line	\$31.99
TOM'S LAWN & GARDEN EQUIP	1-01-342-33001-00	GF\Equip Repair\Maint\DPW\	10/25/2016	Part No. JOHAW30713 Wheel	\$61.42
TOM'S LAWN & GARDEN EQUIP	1-01-342-33001-00	GF\Equip Repair\Maint\DPW\	10/25/2016	Part No. JOHMIU10010 Filter	\$34.17
TOM'S LAWN & GARDEN EQUIP	1-01-342-33001-00	GF\Equip Repair\Maint\DPW\	10/25/2016	Part No. JOHAM127176 Dipstick	\$15.72

Vendor	Account Number		Date	Description	Amount
TRAFFIC SIGNS & SAFETY INC	1-01-386-33001-00	GF\Street Signs\DPW\	10/25/2016	30X30 No Lifeguard Sign	\$62.50
TRAFFIC SIGNS & SAFETY INC	1-01-386-33001-00	GF\Street Signs\DPW\	10/25/2016	Re letter sign	\$50.00
TRAFFIC SIGNS & SAFETY INC	1-01-386-33001-00	GF\Street Signs\DPW\	10/25/2016	Various Street Name Signs-9, 080, HIP	\$350.00
TRAFFIC SIGNS & SAFETY INC	1-01-386-33001-00	GF\Street Signs\DPW\	10/25/2016	Digital print shredded paper only	\$40.00
WARWICK WINWATER COMPANY	1-01-397-33001-00 *	GF\Road Maintenance\DPW\	10/25/2016	24X6 4FL Frame	\$887.40
WARWICK WINWATER COMPANY	1-01-397-33001-00 *	GF\Road Maintenance\DPW\	10/25/2016	24X8 4FL Frame	\$1,937.00
WASTE MANAGEMENT OF RI, INC	1-01-345-33001-11	GF\Bldgs/Grounds Repair\Maint\DP	10/25/2016	TOWN WIDE: TOWN HALL	\$19.36
WB MASON CO INC	1-01-330-33001-00	GF\Office Supply & Eq\DPW\	10/25/2016	Item No. GPC28706 Towel, NPERF, ACLM, 1 ply 350 foot	\$137.98
WB MASON CO INC	1-01-330-33001-00	GF\Office Supply & Eq\DPW\	10/25/2016	Item #PFX4312 Tab, Hanging Folder	\$7.41
WB MASON CO INC	1-01-330-33001-00	GF\Office Supply & Eq\DPW\	10/25/2016	Item #PFX242 Tab, Insert	\$1.82
WB MASON CO INC	1-01-330-33001-00	GF\Office Supply & Eq\DPW\	10/25/2016	Item #WBM21200 Flagship Copy Paper	\$27.03
WB MASON CO INC	1-01-330-33001-00	GF\Office Supply & Eq\DPW\	10/25/2016	Item #SO41133015 Pledge Furniture Polish	\$8.56
WESTERN OIL, INC.	1-01-342-33001-00	GF\Equip Repair\Maint\DPW\	10/25/2016	Recycled Petroleum Oil Note: Ea	\$37.50
WESTERN OIL, INC.	1-01-342-33001-00	GF\Equip Repair\Maint\DPW\	10/25/2016	Environmental Recover Fee	\$3.37
Sub Total:					\$35,890.88
<b>Line Item 33002 Bldg Inspection</b>					
CITIZENS BANK	1-01-330-33002-00	GF\Office Supply & Eq\Bldg Inspec	10/25/2016	ICC Code book and tabs	\$61.45
RICOH USA INC	1-01-330-33002-00	GF\Office Supply & Eq\Bldg Inspec	10/25/2016	Copy Machine	\$27.38
STAPLES CREDIT PLAN	1-01-330-33002-00	GF\Office Supply & Eq\Bldg Inspec	10/25/2016	Rechargeable batteries for camera.	\$16.49
THE NEWPORT DAILY NEWS	1-01-453-33002-00	GF\Zoning Board\Bldg Inspection\	10/25/2016	Advertising Zoning Borad of Review	\$1,231.20
ULINE, INC.	1-01-330-33002-00	GF\Office Supply & Eq\Bldg Inspec	10/25/2016	Plastic envelopes (waterproof)	\$75.42
Sub Total:					\$1,411.94
<b>Line Item 54003 Glen Park Comm</b>					
SHS PEST CONTROL CORP.	1-01-345-54003-00	GF\Bldgs/Grounds Repair\Maint\GI	10/25/2016	Bi-monthly service-rodents control in the kitchen, country store, and secretary booth.	\$65.00
Sub Total:					\$65.00
<b>Line Item 54004 GMH</b>					
GREEN SYSTEMS INC	1-90-466-54004-00 *	GMH\GMH Grounds\GMH\	10/25/2016	MANOR HOUSE: GROUNDS	\$148.00
TAYLOR RENTAL CENTER	1-90-466-54004-00 *	GMH\GMH Grounds\GMH\	10/25/2016	MANOR HOUSE: GROUNDS	\$344.90
Sub Total:					\$492.90
<b>Line Item 54005 Recreation</b>					
STAPLES CREDIT PLAN	1-01-330-54005-00 *	GF\Office Supply & Eq\Recreation\	10/25/2016	RECREATION: SUPPLIES	\$63.40
Sub Total:					\$63.40

**Bill List Expenditures**  
Town of Portsmouth 2016-2017

Vendor	Account Number		Date	Description	Amount
<b>Line Item 71006 Brown House</b>					
MOUNT HOPE ENGINEERING, INC.	1-99-750-71006-00 *	Town CIP\Town CIP\Brown House\-	10/25/2016	CIP: BROWN HOUSE	\$920.00
PATRIOT DISPOSAL COMPANY, IN	1-99-750-71006-00 *	Town CIP\Town CIP\Brown House\-	10/25/2016	CIP: BROWN HOUSE	\$51.75
				<b>Sub Total:</b>	<u>\$971.75</u>
 <b>Line Item 73015 Grants-2015</b>					
STUDIOJAED	1-26-871-73015-00 *	CDBG\Grant Exp-Non PR\Grants-2	10/25/2016	CDBG: SENIOR CENTER #16052	\$636.00
				<b>Sub Total:</b>	<u>\$636.00</u>
 <b>Line Item 73500 Special Rev</b>					
THE DAWSON GROUP	1-52-870-73500-00 *	Fire Alarm Maint\Exp-Sp Rev\Speci	10/25/2016	Owed to Dawson Group for Radio Box fees collection	\$78.00
				<b>Sub Total:</b>	<u>\$78.00</u>
 <b>Line Item 75000 TS</b>					
JR VINAGRO CORPORATION	1-88-380-75000-00 *	Transfer Station\Waste Disposal\T	10/25/2016	TRANSFER STATION: SEPT	\$22,125.96
SANNE KURE-JENSEN	1-88-381-75000-00 *	Transfer Station\Recycling Remova	10/25/2016	RECYCLING: EXPENSES & 124.3 MILES	\$194.87
WASTE MANAGEMENT OF RI, INC	1-88-380-75000-83 *	Transfer Station\Waste Disposal\T	10/25/2016	40 yard roll off, 9/16, 9/23, 9/27/2016	\$2,004.84
WASTE MANAGEMENT OF RI, INC	1-88-381-75000-83 *	Transfer Station\Recycling Remova	10/25/2016	30 yard roll off, 9/20, 9/30/2016	\$1,238.92
				<b>Sub Total:</b>	<u>\$25,564.59</u>
 <b>Line Item 76100 Pass-thru PR</b>					
THE SEGAL COMPANY INC.	1-06-830-76100-00 *	Non-Approp\Pension/Annuity/Term\	10/25/2016	PENSION: ACTUARIAL VALUATION	\$10,000.00
				<b>Sub Total:</b>	<u>\$10,000.00</u>
				<b>Batch BILL LT 1024</b>	<u>\$108,029.76</u>

Vendor	Account Number		Date	Description	Amount
<b>Line Item 20001 Finance/Personnel</b>					
FUNG Y. CHAN	1-01-323-20001-00	GF\Postage\Finance/Personnel\	10/12/2016	FINANCE: FED EX POSTAGE	\$44.00
Sub Total:					\$44.00
 <b>Line Item 54004 GMH</b>					
WASTE MANAGEMENT OF RI, INC	1-90-380-54004-00 *	GMHWaste Disposal\GMH\	10/12/2016	MANOR HOUSE: WASTE DISPOSAL	\$150.38
WASTE MANAGEMENT OF RI, INC	1-90-380-54004-00 *	GMHWaste Disposal\GMH\	10/12/2016	MANOR HOUSE: WASTE DISPOSAL	\$198.17
WASTE MANAGEMENT OF RI, INC	1-90-380-54004-00 *	GMHWaste Disposal\GMH\	10/12/2016	MH: CREDIT LATE PAYMENTS	(\$13.84)
Sub Total:					\$334.71
 <b>Line Item 75000 TS</b>					
RI RESOURCE RECOVERY CORPO	1-88-380-75000-00 *	Transfer Station\Waste Disposal\T	10/12/2016	TRANSFER STATION	\$12,612.41
Sub Total:					\$12,612.41
<b>Batch PREPAY 10.24</b>					<b>\$12,991.12</b>

**PRE-PAID**

Vendor	Account Number		Date	Description	Amount
<b>Line Item</b>	<b>33002 Bldg Inspection</b>				
GARETH EAMES	1-01-222-33002-00	GF\Safety Shoe\Bldg Inspection\-	10/14/2016	Shoes for Gareth	\$116.90
GARETH EAMES	1-01-352-33002-00 *	GF\Professional Dev\Bldg Inspectio	10/14/2016	Mileage to seminar.	\$179.82
GARETH EAMES	1-01-352-33002-00 *	GF\Professional Dev\Bldg Inspectio	10/14/2016	Hotel for seminar	\$432.27
				Sub Total:	\$728.99
				<b>Batch PREPAY 10-24</b>	\$728.99

**PRE-PAID**

**Bill List Expenditures**  
Town of Portsmouth 2016-2017

Vendor	Account Number	Date	Description	Amount
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**Grand Total:** \$121,749.87

Reviewed





## **Memo**

To: Town Administrator & Finance Director & Honorable Town Council  
From: Recreation Department Director  
Re: Recreation Department 11-Month Report & Summary  
Date: October 19, 2016

### **Introduction**

Ten months ago, in October of 2016, the newly formed recreation department had a change of leadership. Mr. Bob Campion was succeeded by Mr. Timothy Dunbar. At that time the recreation department was not producing much in the way of programming or events for our residents. Mr. Dunbar immediately began work to remodel the department into a more effective machine that could be of service to the entire Town of Portsmouth.

### **Director Background**

Mr. Dunbar has worked seasonally for the Town of Portsmouth for the last 27 years. His area of expertise resides in aquatics and waterfront management. He is a public school teacher during the off-season and holds Bachelor and Master Degrees in mathematics and education. He is also certified in CPR, First Aid, AED, Lifesaving, Blood Pathogens, and holds two black belts in Tang Soo Do.

### **Recreation Department Background**

There was not a recreation department in the Town Of Portsmouth until January 2016. In fact, history must travel back decades to find any evidence of a recreation department. The Town did have the Portsmouth Action for Youth Organization (P.A.Y) which ran the beach and provided limited programming for many years. PAY was an effective organization during the 1990's and early 2000's but by the year 2014 it was clear that the engine driving PAY was losing steam. The organization was disbanded in late 2014 leaving the Town with little to nothing in the form of recreational opportunities for its residents.

### **Sandy Point Beach**

When the official recreation department was formed, Sandy Point Beach became one of its new responsibilities. The beach typically costs \$500-\$600 a day to run primarily because of the state law requiring four lifeguards at all times. Since the beach only occasionally takes in more than it spends each day, the beach is often looked upon in a somewhat cost ineffective way. Typically its runs around \$55,000 for an entire summer with roughly \$10,000 recapped this year from revenue generated at the gate for a final cost of \$45,000 to the taxpayer.

## **Positives of Sandy Point Beach**

Before criticism of the beach can be offered, a hard look at the data must be completed. Please see attached excel file for a deep look at the last sixty days at the beach this year.

**Although the beach does lose money, it is tremendously used by our residents.**

Data compiled over the last sixty days shows that slightly over ten thousand residents have used the beach this summer. While we are certain the many residents make repeated trips to the beach, this number certainly shows heavy use by the residents of Portsmouth. It is clear from the data residents enjoy Sandy Point Beach. Additionally, the data shows that on any given day, the residents make up roughly 80% of the beach population.

## **Suggestions for Improvement - Next Summer at the Beach - Lessons Learned**

There are still multiple ways to increase revenue at Sandy Point Beach. Below is a brief list of ideas for next summer.

### **1. Change Friday rates from \$10 to \$15 daily**

((Friday's are typically a busy day at the beach. Why? Probably because it's connected to the weekend, but certainly because every Friday morning the beach is professionally raked. The beach looks its very best Friday mornings and people are taking advantage of it. So should we, after all we pay for the rakings))

### **2. Place No Parking Signs Above The Entrance To The Beach**

((Non-residents typically park up the street from Sandy Point and walk down on busy days. This is costing us roughly \$100-\$200 a day in lost revenue. Place no parking signs and allow the beach manager to ticket.))

### **3. Extend the Collecting Time from 3:30pm to 4:30pm daily**

((Non-residents are well aware of the time we stop collecting and will often "hover" until the gate closes. By extending the collection times we could increase revenue by up to \$100 a day))

## **The Recreation Department Itself**

The recreation department itself is a far more almost self-sustaining entity than the beach.

**Our summer 2016 recreation department catalog brought in roughly \$25,000 in registration revenue.**

Now of course we had to pay workers and buy materials, but this level of success brings us closer to being self-sustaining. Especially, when you consider all the programming offered to residents in the last 11-month period. The recreation department has done all of the following in the last 11-month period:

1. Offered Free Portsmouth Resident Tutoring At the Library Every Thursday Night
2. Offered Holiday Events Like Gift Wrapping and Gingerbread House Contests
3. Had a Winter Holiday Vacation Camp for Kids at the Middle School
4. Opened the High School Gym for Senior Walking

5. Teamed with the Friends of The Brown House for an Easter Egg Hunt
6. **Brought Sailing lessons, swimming lessons, an immensely successful Summer Day Camp, and Tennis back to the Town of Portsmouth through its Summer Catalog.** Hundreds of residents involved. Two dozen scholarships were given out to help our struggling families that need them the most.
7. Presented a huge family night movie(Zootopia) and activity night at Sandy Point Beach just a few weeks ago
8. Began improving local Playgrounds
9. Looking to create a Safe Halloween Party for all Portsmouth Residents

And we are not finished. We are working on our Fall newsletter that contains even more programming including Senior Bocce, another Movie Night, the return of Thursday Night tutoring, Archery lessons, and a Tennis Clinic.

### **Suggestions for Improvement – Recreation Department - Lessons Learned**

Even with months of creation and preparation, there are still things that could have been done better. Here listed are a few thoughts:

#### **1. Our Summer Catalog Prices Need to Rise**

((Comparable programs in other towns sometimes charged more for a program inferior to ours. Of course we need to continue the practice of scholarships and fee reductions for our families in need, but we are looking to raise the cost of most programs by 10%-20%))

#### **2. Create An Afterschool Program Once We Have The Brown House**

((One of my visions is to have a quality afterschool program. Currently such a program is difficult without a place to house the children. Once the Brown House is finished, creating an afterschool program available to all residents is critical))

#### **3. Move to a Computer Registration System**

((This year I struggled with processing an ocean of registrations that continued grow before, during, and after my office hours. A computer system would make things faster, allow for instantaneous registration, and help keep everything organized))

I would personally like to thank both Rich Rainer and Jim Lathrop for all of their help. The recreation department would not be the quality entity it is today without their endless and invaluable assistance and guidance. ☺

Thank you,  
Timothy Dunbar  
Recreation Director  
Town of Portsmouth

Date	Weather	# of resident cars	# of resident people	# of non-resident cars	# of non-resident people	% of resident use daily
Sat. 08/20/16	Sunny	88	171	27	55	<b>77%</b>
Fri. 08/19/16	Sunny	69	156	19	30	<b>78%</b>
Thu. 08/18/16	Partly Sunny	57	111	15	27	<b>79%</b>
Wed. 08/17/16	Partly Cloudy	52	89	12	26	<b>81%</b>
Tue. 08/16/16	Cloudy	38	66	8	14	<b>83%</b>
Mon. 08/15/16	Partly Sunny	58	119	10	23	<b>85%</b>
Sun. 08/14/16	Cloudy	78	167	19	45	<b>80%</b>
Sat.08/13/16	Hot & Sunny	119	240	33	68	<b>78%</b>
Fri. 08/12/16	Sunny	101	258	18	40	<b>85%</b>
Thu. 08/11/16	Partly Sunny	85	180	13	39	<b>87%</b>
Wed. 08/10/16	Rain	11	25	0	0	<b>100%</b>
Tue. 08/09/16	Cloudy	67	133	14	34	<b>83%</b>
Mon. 08/08/16	Partly Sunny	73	200	17	41	<b>81%</b>
Sun. 08/07/16	Hot & Sunny	167	348	55	132	<b>75%</b>
Sat. 08/06/16	Partly Sunny	120	289	41	95	<b>75%</b>
Fri. 08/05/16	Sunny	100	265	30	92	<b>77%</b>
Thu. 08/04/16	Cloudy	56	143	16	41	<b>78%</b>
Wed. 08/03/16	Sunny	78	188	21	55	<b>79%</b>
Tue. 08/02/16	Rain & Clouds	10	20	0	0	<b>100%</b>
Mon. 08/01/16	Sunny	121	256	25	61	<b>83%</b>
Sun. 07/31/16	Sunny	180	341	67	189	<b>73%</b>
Sat. 07/30/16	Partly Sunny	123	245	30	67	<b>80%</b>
Fri. 07/29/16	Partly Cloudy	87	134	21	45	<b>81%</b>
Thu. 07/28/16	Very Cloudy	43	89	7	20	<b>86%</b>
Wed. 07/27/16	Sunny	78	159	11	25	<b>88%</b>
Tue. 07/26/16	Sunny	98	211	19	39	<b>84%</b>
Mon. 07/25/16	Heavy Rain	0	0	0	0	<b>0%</b>
Sun. 07/24/16	Cloudy	66	135	11	31	<b>86%</b>
Sat. 07/23/16	Partly Sunny	161	390	47	110	<b>77%</b>
Fri. 07/22/16	Sunny	109	251	31	87	<b>78%</b>
Thu. 07/21/16	Partly Cloudy	65	130	15	37	<b>81%</b>
Wed. 07/20/16	Sunny	91	210	31	99	<b>75%</b>
Tue. 07/19/16	Sunny	59	135	17	37	<b>78%</b>

Mon. 07/18/16	Cloudy	28	67	6	16	<b>82%</b>
Sun. 07/17/16	Partly Cloudy	67	132	14	38	<b>83%</b>
Sat. 07/16/16	Sunny	89	201	20	56	<b>82%</b>
Fri. 07/15/16	Rain	0	0	0	0	<b>0%</b>
Thu. 07/14/16	Cloudy	47	105	9	20	<b>84%</b>
Wed. 07/13/16	Sunny	101	235	18	32	<b>85%</b>
Tue. 07/12/16	Sunny	92	201	15	27	<b>86%</b>
Mon. 07/11/16	Sunny	81	195	17	41	<b>83%</b>
Sun. 07/10/16	Sunny	145	306	41	101	<b>78%</b>
Sat. 07/09/16	Sunny	100	287	35	82	<b>74%</b>
Fri. 07/08/16	Cloudy & Wind	38	89	11	24	<b>78%</b>
Thu. 07/07/16	Partly Sunny	78	167	25	76	<b>76%</b>
Wed. 07/06/16	Sunny	89	173	17	35	<b>84%</b>
Tue. 07/05/16	Sunny	76	155	19	50	<b>80%</b>
Mon. 07/04/16	Sunny	150	367	50	123	<b>75%</b>
Sun. 07/03/16	Sunny	109	266	38	78	<b>74%</b>
Sat. 07/02/16	Sunny	114	245	40	68	<b>74%</b>
Fri. 07/02/16	Cloudy	56	124	20	37	<b>74%</b>
Thu. 07/01/16	Rain	12	20	2	6	<b>86%</b>
Wed. 06/30/16	Sunny	48	101	8	18	<b>86%</b>
Tue. 06/29/16	Sunny	77	148	11	27	<b>88%</b>
Mon. 06/28/16	Cloudy & Wind	38	89	7	18	<b>84%</b>
Sun. 06/27/16	Sunny	67	145	14	32	<b>83%</b>
Sat. 06/26/16	Sunny	88	178	22	41	<b>80%</b>
Fri. 06/25/16	Sunny	75	138	16	31	<b>82%</b>
Thu. 06/24/16	Sunny	67	145	18	40	<b>79%</b>
<b>TOTALS</b>		<b>4640</b>	<b>10133</b>	<b>1193</b>	<b>2821</b>	<b>78%</b>



September 13, 2016

# Memo

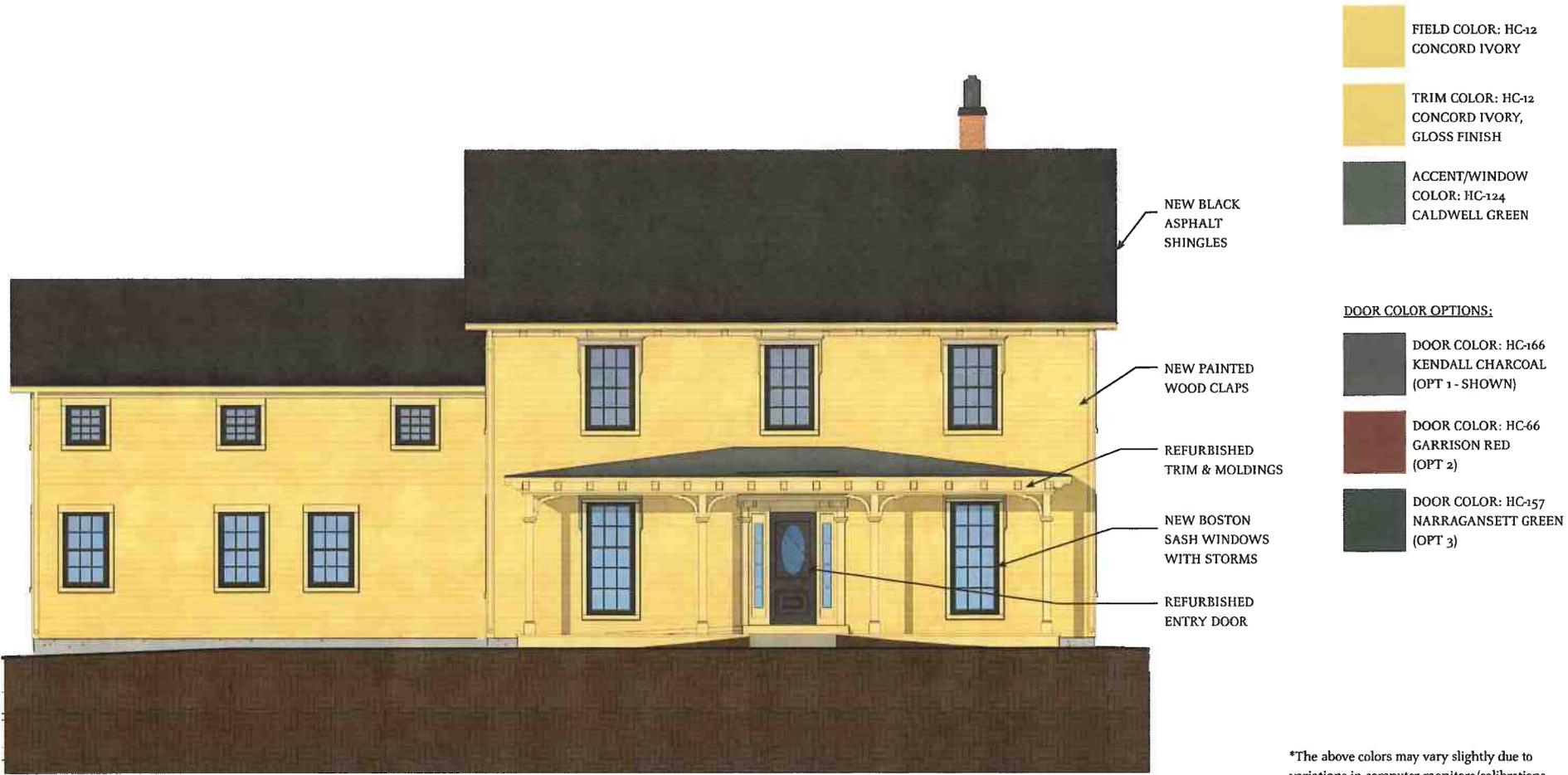
To: Rich Rainer, Town Administrator  
From: Jim Lathrop, Director of Finance  
Subject: Brown House Update: Paint

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The Brown House is moving along and they hope to be able to button up the building for the winter and continue work on the interior.

They plan to start painting and have asked for a decision on the door color.

Attached is the architect rendering and options.



NEW BLACK ASPHALT SHINGLES

NEW PAINTED WOOD CLAPS

REFURBISHED TRIM & MOLDINGS

NEW BOSTON SASH WINDOWS WITH STORMS

REFURBISHED ENTRY DOOR

- FIELD COLOR: HC-12 CONCORD IVORY
- TRIM COLOR: HC-12 CONCORD IVORY, GLOSS FINISH
- ACCENT/WINDOW COLOR: HC-124 CALDWELL GREEN

**DOOR COLOR OPTIONS:**

- DOOR COLOR: HC-166 KENDALL CHARCOAL (OPT 1 - SHOWN)
- DOOR COLOR: HC-66 GARRISON RED (OPT 2)
- DOOR COLOR: HC-157 NARRAGANSETT GREEN (OPT 3)

\*The above colors may vary slightly due to variations in computer monitors/calibrations and may not match the actual colors specified. All paint colors are to be sampled and reviewed in field.

# BROWN HOUSE RENOVATION

EXTERIOR FINISHES  
OCTOBER 12, 2016



**UNION STUDIO**  
ARCHITECTURE & COMMUNITY DESIGN



# MELVILLE PONDS CAMPGROUND

October 18<sup>h</sup>, 2016

TO: Portsmouth Town Council, Town Administrator and Finance Manager

FROM: Justin May, Melville Ponds Campground, LLC

As the 2016 camping season at Melville Ponds comes to an end we are pleased to report a second season of positive growth and submit to you this brief of our current operations. We also thank the Council, Town Administrator, Finance Manager, and their staff members, along with the Departments of Public Works, Fire and Police for the continued support of our efforts at Melville Ponds. In our view this joint venture should serve as a shining example of private enterprise and municipal partnership. Following, we offer you a brief overview of our current state of operations and near term development goals. To anyone who would like more information we are happy to invite you to the property for a proper tour.

## **Positive Growth**

- Doubling of park reservation traffic since privatization
- 2015-2016 year over year growth estimate at 18%
- Over 6000 Guests from 46 states and 17 countries will visit Melville Ponds this year.
- Good news beyond the campground – each guest will likely visit more than one local business such as gas stations, grocers, package stores and restaurants.

## **Capital Improvement – Deferred maintenance projects**

- Park WIFI installation (Completed)
- Front store remodel (Completed)
- Bathroom remodel phase I (Completed)
- Maintenance building repair, paint & roof (Completed)
- Laundry facility construction (Completed)
- Remodel former managers residence for use as vacation rental (Completed)
- Park utility upgrade, site improvement and expansion (in process)
  - Ground penetrating radar survey complete
  - Wetland survey complete
  - Physical survey complete
  - Engineering in process
- Bathroom remodel phase II (Winter 2016 / 2017)

181 Bradford Ave, Portsmouth RI 02871 -- PO BOX 448 Hope Valley RI 02832

401-682-2424

[CAMPRHODY.COM](http://CAMPRHODY.COM)

## 2017 Outlook

With the addition of premium sites which will accommodate 40'+ class A motor coaches and additional rental units on the property we are forecasting another strong year of growth for the campground. We hope to have 80% of existing site utilities upgraded by April and the remaining sites completed by years end. Conceptual plans for the final expansion of sites will be completed and submitted to the town for approval. The complete build out of the park is expected to be completed by the 2018 camping season.

Justin May  
**Whispering Pines Campground**  
**Melville Ponds Campground**  
**Ashaway RV Resort**

Web - [www.camprhody.com](http://www.camprhody.com)  
Email - [justin@camprhody.com](mailto:justin@camprhody.com)  
ph - (401) 539-7011

Address: 41 Sawmill Road  
(PO BOX 425)  
Hope Valley RI 02832

181 Bradford Ave, Portsmouth RI 02871 -- PO BOX 448 Hope Valley RI 02832  
401-682-2424

CAMPRHODY.COM

## Kathy Inch

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**From:** Joanne Mower  
**Sent:** Thursday, October 13, 2016 2:04 PM  
**To:** Kathy Inch  
**Subject:** FW: State Planning Council notice of public hearing

-----Original Message-----

From: Keith Hamilton [mailto:keithhamilton@cox.net]

Sent: Thursday, October 13, 2016 10:01 AM

To: Joanne Mower <jmower@portsmouthri.com>

Cc: TownCouncil <TownCouncil@portsmouthri.com>; Richard A. Rainer <rrainer@portsmouthri.com>; Kevin Gavin <kevingavinlaw@gmail.com>

Subject: Re: State Planning Council notice of public hearing

Joanne,

Please place this on as new business for the 26th. Just incase their is a request for discussion.

Thank you,

Keith

Sent from my iPhone

> On Oct 11, 2016, at 10:36 AM, Joanne Mower <jmower@portsmouthri.com> wrote:

>

>

> <20161011103302580.pdf>

RHODE ISLAND STATE PLANNING COUNCIL

**NOTICE OF PUBLIC HEARING**

In accordance with Rhode Island General Law, § 42-11-10 and Chapter 42-35, this is notice that the State Planning Council has under consideration the repeal of five State Guide Plan (SGP) Elements. The SGP is not a single document but a collection of plans referred to as Elements. As of September 2016, there are 25 Elements. There are five Elements that have not been updated in an extremely long time (see below). Due to their outdated nature, the content of these Elements has been found to have limited relevance to current conditions. The Division of Planning has contacted known stakeholders to determine if any of the five Elements might still have value or if there were any objections or concerns to the repeal of the Elements. No objections or concerns have been received to date. The Elements proposed for repeal are:

<b>Element</b>	<b>Title</b>	<b>Date</b>
110	Goals and Policies	Nov-74
112	Resources Management in the Reuse of Surplus Navy Lands	Apr-79
621	Policy Statement: Proposals for a New or Restructured Public Transit Facilities or Service	Jan-87
131	Cultural Heritage and Land Management Plan for the Blackstone River Valley National Heritage Corridor	Sep-90
912	Howard Center Master Plan, Phase 1	Oct-94

Notice is given that a public hearing will be held on the repeal of the five obsolete Elements at which time the opportunity shall be given to all persons interested to be heard upon the matter.

The date, time and location of the hearing is:

**November 2, 2016 at 5:30 PM**

Conference Room **A**, 2nd Floor  
Department of Administration  
One Capitol Hill  
Providence, Rhode Island

The hearing will begin with a brief informational presentation about the proposed action followed by the opportunity for public comment. Written statements relative to any aspect of the proposed action, including alternative approaches, overlap, or potential economic impact, can be submitted in writing prior to, at the time of the hearing, emailed, or mailed by the close of business on Wednesday, November 2, 2016 to: Parag Agrawal, Associate Director, Division of Planning, One Capitol Hill, Providence, Rhode Island 02908.

The five Elements may be viewed at Statewide Planning's website at: <http://www.planning.ri.gov/> Copies of the five Elements are also available for review from 8:30 AM to 4:30 PM at the Department of Administration, Division of Planning, One Capitol Hill, 3rd Floor, Providence, Rhode Island (401-222-7901).

This meeting place is accessible to individuals with disabilities. Any individual requiring a reasonable accommodation in order to participate in this meeting should contact Thomas Mannock at 222-6395 (voice) or #711 (R.I. Relay) at least five (5) business days prior to the meeting.

---

Parag Agrawal, AICP  
Secretary



# Aquidneck Island

PLANNING COMMISSION

55 John Clarke Rd  
Middletown, RI 02842  
(401) 845-9299  
aquidneckplanning.org  
@aquidneckisland

13 October 2016

Richard A. Rainer, Jr.  
Town Administrator  
Portsmouth, RI

**Re: "Solarize Aquidneck" Final Report**

Dear Mr. Rainer,

The Aquidneck Island Planning Commission is pleased to provide the Town with the enclosed Final Report on our "Solarize Aquidneck" project. AIPC initiated this project late last year, in partnership with the three Island municipalities, the state Office of Energy Resources, and CommerceRI.

Solarize Aquidneck exceeded our expectations. As detailed in the enclosed report, the project achieved the following results:

- 159 new residential solar installations on Aquidneck Island;
- \$4.3 million in new economic activity on the Island, much of it directly benefiting local businesses;
- \$3,000, on average, in annual savings or revenue for participating homeowners;
- \$1.2 million in federal tax credits for Island residents;
- 1.1 megawatts of new solar capacity on Aquidneck Island, resulting in a reduction of carbon emissions equivalent to planting roughly 3,000 trees.

Solarize Aquidneck demonstrates the way in which AIPC will continue to support Island municipalities – securing new resources, providing technical support and coordination to help communities deliver benefits to residents and businesses cost-effectively.

On September 22, we hosted a community energy forum called "Solar and Beyond" in Newport. Following that event, we're working with partners such as the Acadia Center of Boston and Emerald Cities of Providence to identify actions to improve energy policy, production and delivery on Aquidneck Island.

Page 2/2

Over the next several months, we hope to begin working with your staff to identify ways in which Portsmouth, Middletown and Newport can continue to create a cleaner, less expensive, and more resilient energy infrastructure, to meet the needs of residents, businesses and municipalities on Aquidneck Island.

Thank you. As always, I'd be happy to discuss this, or AIPC's other projects and initiatives, with you, your staff, the Council or other municipal committees. For more information, please contact me at [tardito@aquidneckplanning.org](mailto:tardito@aquidneckplanning.org) or (401) 845-9299.

Regards,

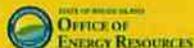
A handwritten signature in blue ink, appearing to be 'T. Ardito', with a long horizontal flourish extending to the right.

Thomas C. Ardito  
Executive Director

*enclosure*

*cc: Pres. Keith Hamilton  
Gary Crosby  
R.P. Adams*

# Solarize Aquidneck!



[www.SolarizeRI.com/Aquidneck](http://www.SolarizeRI.com/Aquidneck)

## FINAL REPORT

SEPTEMBER, 2016



**Aquidneck Island**  
*PLANNING COMMISSION*



## We are in the midst of a revolution.

Worldwide, solar energy is becoming more popular, more affordable, and more accessible each year.

Harvesting the immense power of the sun to fuel our homes, businesses, and municipal spaces has a broad range of benefits – from economic and employment opportunities to environmental and public health improvements. Solar panels can fit a variety of buildings – such as small businesses, homes, schools, hotels, and office parks. Ground installations can take advantage of municipal rights-of-way and other undevelopable lands. In Rhode Island, users have the choice of saving on their electricity bill (net metering), or selling their kilowatts back into the grid (tariff).

In Rhode Island, our solar economy is growing at lightning speed. According to the state's 2016 Industry Report, the solar sector has grown nearly 50% since 2015, now employing more than 1,400 workers. And those who install a panel on their home or business can see savings or income of \$3,000 in the first year alone.

Investing in solar increases Rhode Island's energy independence in a state that is vulnerable to power outages and climate change. Property owners utilizing solar energy are doing their part to reduce our carbon footprint, as each kilowatt generated by solar panels replaces one produced from traditional sources like oil, natural gas, or coal.

## Solarize Aquidneck

The Aquidneck Island Planning Commission (AIPC) is on a mission to bring the benefits of solar to our Island home, and in June 2015, AIPC began the Solarize Aquidneck project. The project was the brainchild of AIPC Board member Dick Adams of Middletown. Our goal was to forge a partnership among the three municipalities – Newport, Middletown, and Portsmouth – to allow for a quick, efficient surge in home and small business solar panel installations. By providing technical support, staff capacity and project management, AIPC enabled an effective collaboration among the three Island communities.

We developed Solarize Aquidneck under the state's Solarize Rhode Island program, which encourages installation of residential solar systems through a time limited, community-based program. The goal was to make the process simple for homeowners through the use of pre-selected installers who explain all options clearly – including tiered pricing, flexible financing and metering options. It was designed to be a "turnkey" operation for property owners, and most solar arrays are installed in a day or less, the entire process, from contracting through connection, takes longer.



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**Solarize Aquidneck resulted in 159 solar energy contracts, \$4.3 million dollars in economic activity, and installed capacity of 1.14 solar megawatts on Aquidneck Island.**

---

All three Island councils passed resolutions in support of the partnership. Although each community presented different strengths and challenges for solar installation (the number of historic homes in Newport, for instance) this was a perfect example of inter-community collaboration, as coordinated by AIPC.

Solarize Aquidneck benefitted Island communities in several important ways:

- Saving money for Aquidneck Island property owners by utilizing solar energy. Depending on the type of metering, homeowners receive savings off their bill (net metering) or receive income from National Grid based on energy produced (tariffs). Participating homeowners also received Federal tax credits.
- Boosting Aquidneck Island's economy through contracts and payrolls. Some homes and businesses require roofing services before a panel can be installed, which leads to additional local spending.
- Developing more diverse energy sources on an island that is vulnerable to storm-caused power outages.
- Helping our municipalities administer a valued program, while helping to streamline the processes for homeowners and local officials.

Once we received approval from the state in October 2015, AIPC and its municipal partners issued a Request for Proposals through Commerce RI. Through a competitive process, three installers were selected to participate in Solarize Aquidneck: RGS Solar (Middletown), Newport Solar (Newport) and Direct Energy Solar (Portsmouth.) Although installers were assigned primarily to one community, participants were free to select any of the three installers. Residents signed up through the online portal for a free consultation.

We carefully selected installers for their ability to support the homeowner throughout at all phases in the process. Installers needed to carefully consider each house on its own merits, and help homeowners determine whether their house was suitable for solar, and which metering system was best. Pricing was tiered during the program period: the more contracts on the Island, the lower the price per house. Installers also recommended outside financing options, completed the permitting process with the towns, and eventually, arranged for the connection to National Grid.

---

**One installer, Newport Solar, doubled in size to keep up with Solarize installations.**

---

## A Community Approach

In partnership with the installers, we promoted Solarize Aquidneck at an Island-wide forum, held Nov. 12 at CCRI in Newport and attended by about 150 residents. Throughout the winter we also worked with each municipality to hold its own local workshops with assigned installers,

We advertised the program in a variety of print and electronic news sources, including op-ed pieces, letters to the editor, news articles, event calendars, and electronic media such as our web site, email blasts and newsletters. With our volunteers, we reached out to our working relationships and partnerships with nonprofits, government, educational, corporate, and private institutions to promote the Solarize Aquidneck program.

We purchased a table at the Aquidneck Growers market for the last seven weeks of the program. The table, open each Saturday morning, was staffed by installers and generated about 10 orders per week.

## Results: Energy and Economic Impact

When Solarize Aquidneck closed out its orders in February 2016, there were **159 solar energy contracts in place, generating over \$4.3 million dollars in economic activity on the island and producing an installed capacity of 1.14 solar megawatts**. One installer, Newport Solar, reported that this local firm had to double in size to keep up with installations.

The contracts broke down as follows:

ECONOMIC IMPACT OF SOLAR CONTRACTS	# of Contracts	Total \$ Value of contracts
Newport	35	\$828,894
Middletown	56	\$1,458,022
Portsmouth	68	\$2,038,738
<b>TOTAL AQUIDNECK ISLAND</b>	<b>159</b>	<b>\$4,325,654</b>

There were two types of metering systems offered:

- 1) Net Metering – where the electricity generated is taken off the National Grid bill all the way down to zero, and
- 2) Tariff – where National Grid pays the homeowner for all electricity generated.

Depending on the type of house, one system may be more advantageous than the other. Also, federal tax credits (see below) are available to homeowners for solar installations; which total **\$1,156,173**.

Annual Value Produced:

Community	Net meter Savings	Tariff Income	TOTAL Value All Installations (Net meter + tariff values)	Total Federal Tax Credits
Newport	\$18,519.35	\$65,693.62	\$84,212.96	\$219,089.99
Middletown	\$46,495.91	\$85,580.57	\$130,076.48	\$363,153.87
Portsmouth	\$23,600.71	\$212,001.69	\$235,602.41	\$573,929.29
<b>TOTAL:</b>	<b>\$88,615.97</b>	<b>\$361,275.88</b>	<b>\$449,891.85</b>	<b>\$1,156,173.15</b>

These figures show the tangible financial incentives to property owners and to the local economy through the Solarize program, but there are also benefits that are more difficult to quantify. Utilization of solar energy is a step toward energy independence for the Island and every bit of clean energy used instead of a fossil fuel makes for a healthier and more resilient environment. **One participant from Portsmouth shared the August 2016 energy report she received from her installer: in one month her solar panel produced 1.03MWh (megawatt hours), offsetting 1,655 lbs of carbon, or the carbon-absorbing capability of about 18 trees.**



## Conclusion

Solarize Aquidneck provided significant benefits for Aquidneck Island – generating more than \$4 million in economic activity; producing nearly \$450,000 in annual value for homeowners; securing more than \$1 million in federal tax credits; and creating a cleaner, more diverse, and more resilient energy system for our communities. It's a good example of the way that the Aquidneck Island Planning Commission provides value for Island residents and municipalities -- building partnerships, providing support, and securing funding to accomplish projects and achieve results. Following the success of Solarize Aquidneck, AIPC will continue to partner with Island communities toward a cleaner, more affordable energy network – one of many ways in which AIPC is working to preserve and improve Aquidneck Island's environment, economy and quality of life.



(l-r: Marion Gold, Commissioner of Public Utilities; Tom Ardito, AIPC; Brigid Ryan, Newport Energy & Environment Committee; Jeanne Marie Napolitano, Mayor of Newport; Rocky Kempenaar, Middletown Town Council; Keith Hamilton, President, Portsmouth Town Council; Karen Stewart, SmartPower)

## Thanks To Our Partners



## and AIPC's Board and Staff

A special thank you to AIPC Board member Dick Adams, without whose dedication the project would not have been possible!

### Staff

Thomas Ardito, Executive Director  
Allison McNally, Office & Project Manager  
Liza Burkin, Program Specialist  
George Johnson, Senior Planner

### Board of Directors

Richard Adams  
Diana Campagna-Skaggs  
Linda Finn  
Gladys Lavine, Secretary  
John DiBari, Treasurer  
Peter Janaros, Vice Chair  
Hilary Stevens, Chair  
Dean Workman

Ray Berberick, Strategic Planning Chair  
Kathleen Wilson

### Council Representatives

Henry F. Lombardi, Jr., Middletown  
Marco Camacho, Newport  
Keith Hamilton, Portsmouth